



CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: January 9, 2020

TIME: 6:00 P.M.

PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order

2. Roll Call

3. Approval of Minutes from the November 14th, 2019, ARB meeting.

4. Public Comment:

5. **NEW BUSINESS:**

A. Application No.: MA-19-200

Applicant: Rosati Windows – John Vaccani

Owner: Betty & Roy Brown

Location: 2619 Bexley Park Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing leaded glass windows in the principal structure to be replaced with double-hung vinyl windows.

B. Application No.: ARB-19-20

Applicant: Candice Brothers – Ecohouse solar

Owner: Eric Sauerhoff

Location: 762 Vernon

ARB Request: The applicant is seeking architectural review and approval to allow solar panels to be installed on the principal structure's south facing roof.

C. Application No.: ARB-19-21

Applicant: Brenda Parker

Owner: Geofrey Mendes

Location: 112 S. Parkview

ARB Request: The applicant is seeking architectural review and approval to allow 2 ½ story addition to the rear and a 2 story addition to the side of the 2 1/2 story principal structure.

D. Application No.: ARB-19-22

Applicant: Urbanorder Architecture

Owner: Daniel Matthew Massey & Talley Wetlaufer

Location: 261 North Drexel

ARB Request: The applicant is seeking architectural review and approval to allow an enclosed structure between the principal structure and the 2-story Garage to be replaced with a new modified enclosed living space.

E. Application No.: ARB-19-23

Applicant: Michael Price

Owner: City of Bexley

Location: 165 N. Parkview (At the City Pool site)

ARB Request: The applicant is seeking architectural review and approval to allow for the addition of 4 pickleball courts to the west of the existing tennis courts and east of the city pool at Jeffrey Park, which will include 5' and 6' high black, chain-link fencing.

F. Application No.: ARB-19-24

Applicant: William T. Gruber & Dean Wenz

Owner: William T. Gruber

Location: 745 Francis Avenue

ARB Request: The applicant is seeking architectural review and approval to demolish the existing single-family dwelling, and allow a new single-family dwelling and detached garage to be constructed on the lot. Please Note: This application was tabled at the June 13, 2019 meeting of the Architectural Review Board.

G. Application No.: ARB-19-25 (BZAP)

Applicant: Brian Marzich

Owner: Ryan Brown

Location: 2618 Brentwood

ARB Request: The applicant is seeking architectural review and approval to allow a covered side porches on the west side of the principal structure, one of which will be screened. The applicant is also seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an open front entry porch.

H. Application No.: ARB-19-19 (BZAP)

Applicant: Ashley Coey
Owner: Nathan & Ashley Coey
Location: 2395 Charles St.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a two-story addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof.

I. Application No.: BZAP-19-18

Applicant: Nathan Kayes
Owner: Nathan Kayes
Location: 528 N. Cassady Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow exterior modifications to the site and building at this location. The modifications include: parking changes, addition of a playground, landscaping and new signage for the proposed "Green Meadows Schoolhouse" day care facility.



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: MA-19-200

Applicant: Rosati Windows – John Vaccani

Owner: Betty & Roy Brown

Location: 2619 Bexley Park Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing leaded glass windows in the principal structure to be replaced with double-hung vinyl windows.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(MA) Architectural Review**
Application for Roof, Window, and
Siding ONLY - Minor changes (no
variance) Staff Review -

MA-19-200

Applicant

 Rosati Windows- Vaccani
 6149895373
 jvaccani@rosatiwindows.com

Location

2619 BEXLEY PARK RD
 Bexley, OH 43209

Status: Active

Submitted: Aug 06, 2019

A.1: Contractor Information

Contractor Name

rosati windows

Address

4200 roberts rd cols oh 43228

Email

jtilley@rosatiwindows.com

Phone

6149890315

A.1: Project Information

Brief Project Description

replace 12 windows like for like grids same also

A.2: Fee Worksheet

Estimated Valuation of Project

11171

Minor Architectural Review

true

Variance Review Type

Single Family

Review Type

Windows

Appeal of ARB decision to BZAP

false

Appeal of BZAP decision to City Council

false

B: Project Worksheet: Property Information

Occupancy Type

Residential

Zoning District

--

Use Classification

--

C.1 Architectural Review Worksheet: Roofing

Roofing

false

Structure

--

Existing Roof Type

--

New Roof Type

--

New Single Manufacturer

--

New Roof Style and Color

--

C.1 Architectural Review Worksheet: Windows**Windows**

false

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Wood

New Window Manufacturer

rosati windows

New Window Style/Mat./Color

dh vinyl brown exterior

Explain if a change to window grids

none

C.1 Architectural Review Worksheet: Doors changes**Doors****Structure**

false

--

Existing Entrance Door Type**Existing Garage Door Type**

--

--

Door Finish**Proposed Door Type**

--

--

Proposed Door Style**Proposed Door Color**

--

--

C.1 Architectural Review Worksheet: Exterior Trim**Exterior Trim****Existing Door Trim**

false

--

Proposed New Door Trim**Existing Window Trim**

--

--

Proposed New Window Trim**Trim Color(s)**

alum clad

--

Do the proposed changes affect the overhangs?

No

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes**Exterior Wall Finishes****Existing Finishes**

false

--

Existing Finishes Manufacturer, Style, Color**Proposed Finishes**

--
Proposed Finishes Manufacturer, Style, Color
--

Attachments (4)



2619 Bexley Park.JPG
Aug 07, 2019



back.JPG
Aug 07, 2019



side.JPG
Aug 07, 2019



front.JPG
Aug 07, 2019

Timeline

Payment

Status: Paid August 7th 2019, 3:32 pm

Permit & OBBS Fees

Status: Waived December 16th 2019, 3:47 pm

undefined undefined October 1st 2019, 8:40:48 am
any word on this one?

Robin Shetler October 22nd 2019, 1:56:12 pm

IS this job complete or did they keep it the same diamond grids?

undefined undefined October 23rd 2019, 8:55:36 am

same diamond grids

Robin Shetler October 23rd 2019, 9:20:33 am

@Karen Bokor see above

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Karen Bokor August 8th 2019, 10:47:50 pm

The home in these pictures has leaded glass windows with a significant number of diamond grids. Vinyl windows are not a like for like change and this needs to go to the Board

Robin Shetler October 23rd 2019, 9:20:10 am

@Karen Bokor , same for same

Robin Shetler November 15th 2019, 9:34:29 am

I spoke with the gentlemen that recently replaced John Tilley and he will be contacting the homeowner to discuss if they are going to apply to go before the Board soon to get this resolved.

Kathy Rose November 15th 2019, 9:43:58 am

Karen: The owners called they might be interested in other options that may be acceptable - John Vacanni has taken over the Bexley accounts. If there is a solution you would find acceptable - great - otherwise let us know if it will need to be placed on the next ARB agenda. Thanks!

Kathy Rose November 18th 2019, 12:18:30 pm

Karen: I spoke with John Vaccani about uploading any window specifications that may best match the leaded grid look. He will follow up. We also need to change out the contact information so that any response from us goes to the right person at Rosati.

Robin Shetler December 4th 2019, 10:03:38 am

Kathy Hammons is calling regarding this application approval. Please call 614-565-9270

Robin Shetler December 12th 2019, 9:30:25 am

@Kathy Rose @Karen Bokor , homeowners daughter is calling regarding these windows getting resolved. Please call at 614-565-9270

Kathy Rose December 13th 2019, 4:08:37 pm

I spoke with Karen this afternoon. She was going to call the owner and explain it's the diamond pattern is proposed in vinyl that she has a problem with - even is same for same being the original is leaded glass I believe.

Kathy Rose December 13th 2019, 4:38:00 pm

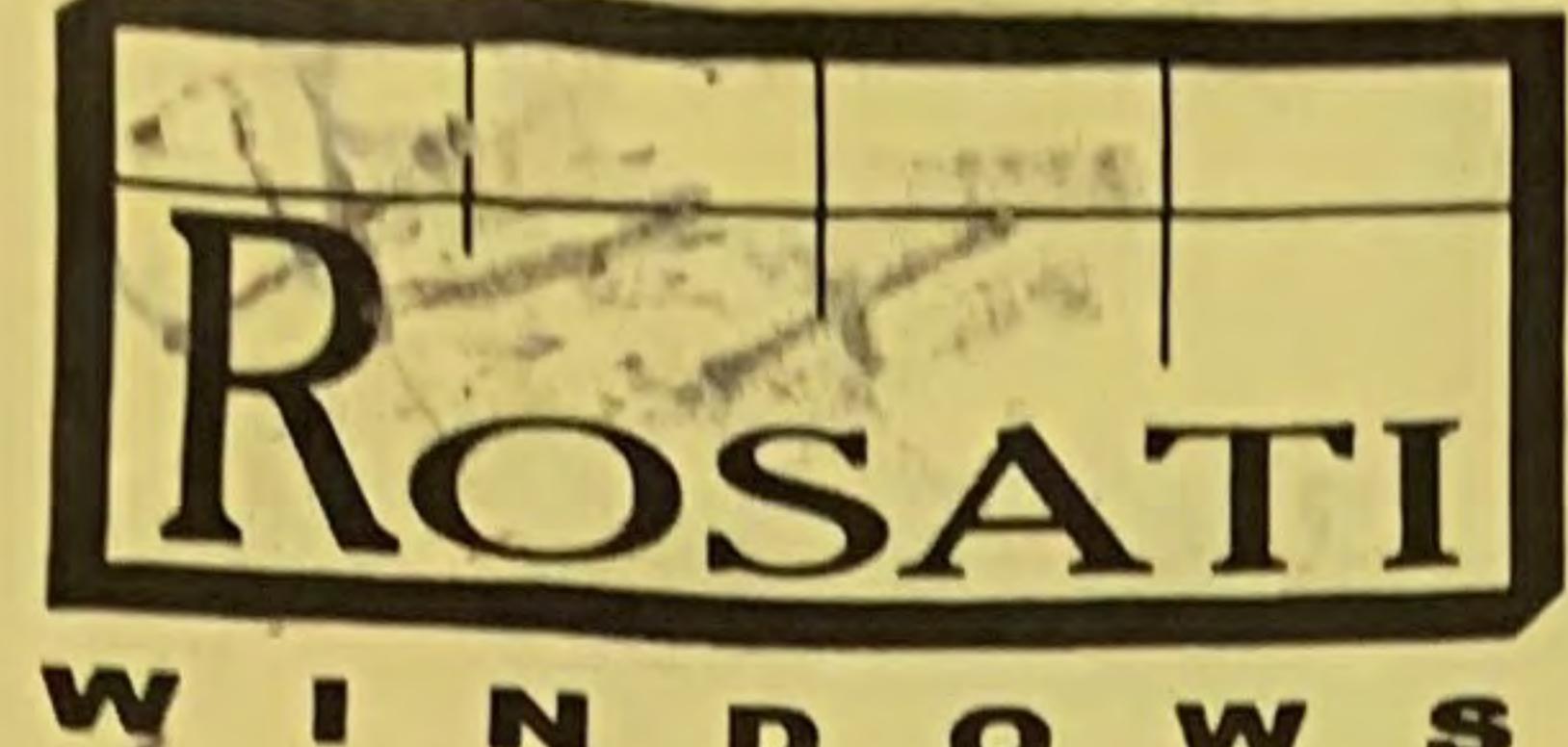
This still needs to Jan ARB per Karen - Jordan please provide envelopes

Kathy Rose December 16th 2019, 2:58:32 pm

John - Can you upload the specifications of the replacement windows for the Board to review?

Architectural Review

Status: Pending



WINDOWS

See the difference.

DAUGHTER

KATHY HAMMARD 614. 565.9270

Factory Order

No 51304

Date 7-24-19

Time

Windows
Brown
06-1%
805194200 Roberts Road
Columbus, Ohio 43228
(614) 777-4806
(614) 888-866-7800Customer CARMELLA KELLEY

(H) (614) - 237-6207 (W) () -

Address 2619 BEXLEY PARKCity BEXLEYZip 43209 County: FRAT

Rosati Window Co., LLC agrees to sell and supply customer and customer agrees to purchase from Rosati Window Co., LLC the following windows and other materials and services on the terms and conditions set forth below. All items purchased hereunder are covered to the extent applicable by the Limited Warranty. No oral agreement, promise, understanding or representation will be recognized or binding upon the parties. Contract subject to measure and verification of installation by Rosati Window Co., LLC.

Arbitration - Any claim or controversy arising under this contract shall be resolved by the Better Business Bureau Arbitration Program.

DESCRIPTION: COLOR: [] White [] Beige [] <u>BOSTON</u> [] Other					
Quantity	DOUBLE HUNG	Quantity	CASEMENT	Quantity	EXTERIOR DOOR
(11)		(1)			
				(Y)	
				(N)	

OTHER:

Email _____

Installed by Rosati Windows Co., LLC; cover outside trim with BOSTON Brown aluminum Installed by customer
 Removal of storm windows Yes No

 Bank Financed C.O.D. (Following does not apply)

NOTICE: ANY HOLDER OF THIS CONSUMER CREDIT CONTRACT IS SUBJECT TO ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HERETO OR WITH THE PROCEEDS HEREOF. RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREUNDER.

EACH BUYER HEREBY AGREES TO THE TERMS AND CONDITIONS OF THIS CONTRACT AND ACKNOWLEDGES RECEIPT OF A COMPLETED COPY HEREOF. FOR TERMS OF FINANCING SEE SEPARATE TRUTH IN LENDING DISCLOSURE.

Agreed price for above

\$ 11171

Sales Tax

\$ —

Total

\$ 11171

Down Payment

\$ 3723Check
5111Balance payable on
Installation/Pickup\$ 7448

15-17 WEEKS

Installation to take place in approximately 15-17 weeks.
Recheck typically occurs within 10-14 business days of the factory order date.

BUYER'S RIGHT TO CANCEL

BUYER MAY CANCEL THIS CONTRACT BY DELIVERING WRITTEN NOTICE TO THE SELLER AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. BUYER MAY USE THIS CONTRACT AS THAT NOTICE BY WRITING "I HEREBY CANCEL" AT THE BOTTOM AND ADDING BUYER'S NAME AND ADDRESS. THE NOTICE MUST BE DELIVERED TO THE SELLER AT THE ADDRESS SHOWN ABOVE.

AGREED

Bob Boig

Customer _____

Carmella Kelley

Customer _____

Date 7/11/19Factory Representative Bob Boig

Accepted by Rosati Windows Co., LLC

By _____

Customer Source NCopy to Measure 7-29-19 Copy to Production _____

Date..... Time

Applicator

Rosati Windows

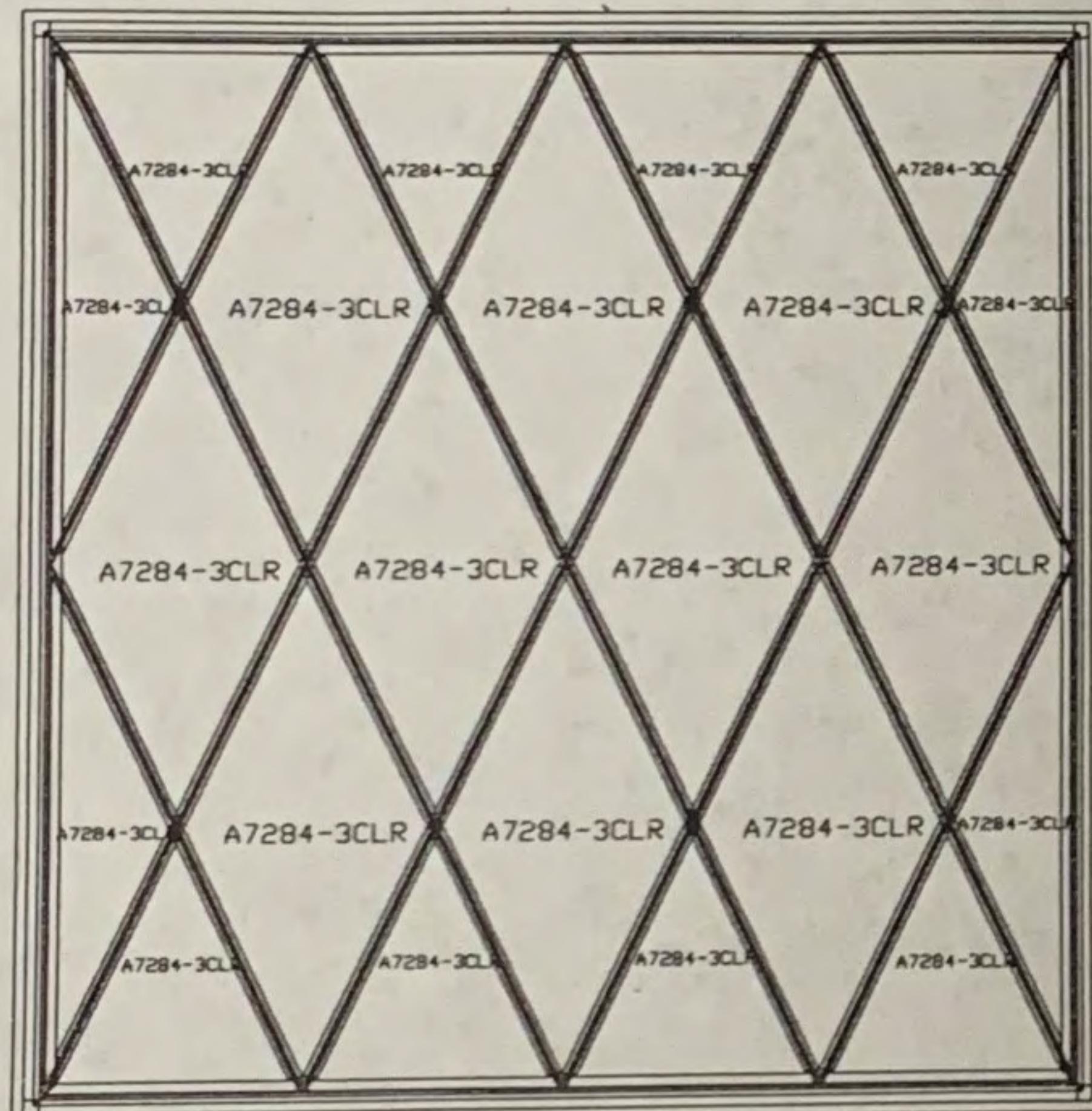
Boston Brown

P-IRE806-1%

Lot# 080519

DOUBLE HUNG.
THIS PATTERN IN BOTH
UPPER + LOWER SASH.
TOP

Kelley

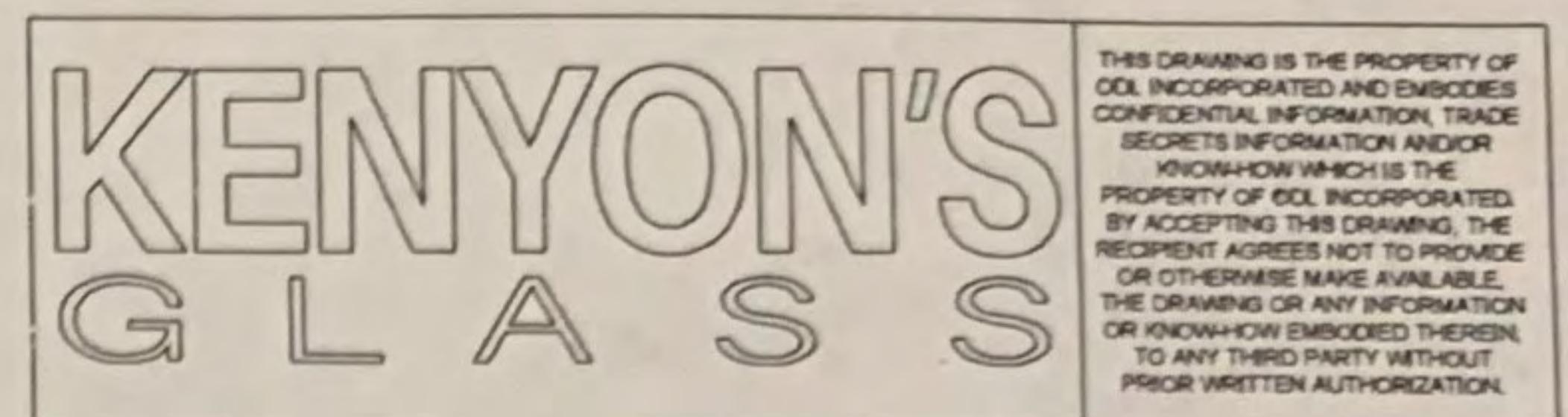


ROSATI HARDIN 264077
17.875 in x 18.625 in

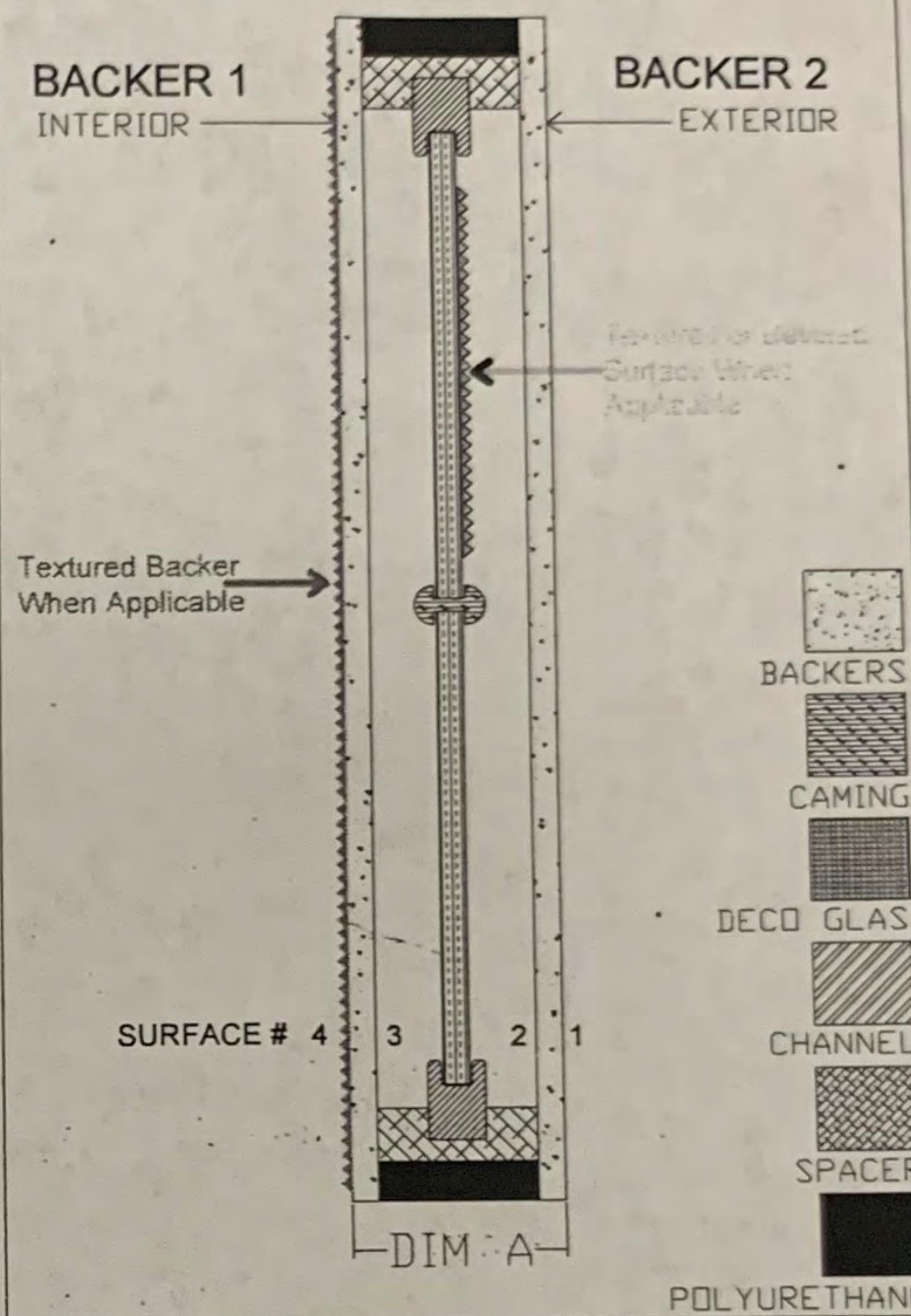
GLASS TYPES:
A7284-3CLR - Clear Flat 1/8" [22]

COMPONENTS:

BACKER: 1/8 1/8" Clr Temp Backer-Rect
BACKER2: 1/8 Temp Low E 272 3.1mm (Soft Coat) Rect
SPACER: 0.25 SuperSpacer 5/8
CHANNEL: 0.35 3/8" U Channel Zinc-Black.
CAMING: 7/32 7/32" RH Zinc-Black Came



DOOR IGU
IGU CONFIGURATION (SIDEVIEW):



DESCRIPTION: HARDIN
17.875 in x 18.625 in
DIM A = $\frac{7}{8}$ " IGU
FRAME TYPE : N/A

NOTES:

1. DRAWING VIEW FROM THE EXTERIOR
2. TEXTURE/BEVELED SURFACE
ASSEMBLED FACE UP
3. GRAIN DIRECTION OF GLASS IS TO BE
VERTICAL ↑ UNLESS OTHERWISE
SPECIFIED.

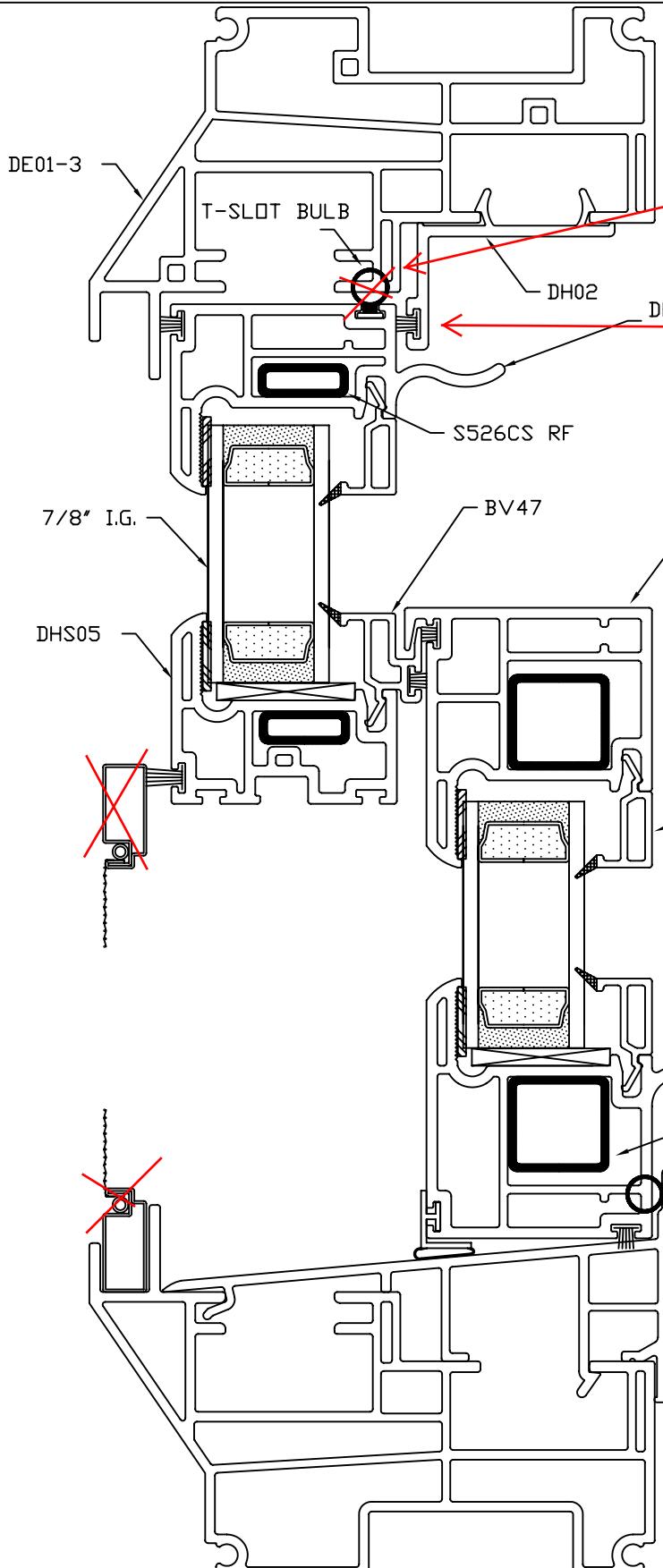
QUOTE #: 264077-100







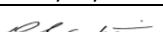




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NOTE:
FOR OTHER PROFILE, GLAZING BEAD,
& GLASS OPTIONS, PLEASE SEE THE
LINEAL PROFILE CHARTS FOR THIS
SYSTEM.

T-slot bulb in DH02
Head adapter

Report #: F7892-116-45
 Date: 05/12/16
 Verified by: 



VEKA INC.

100 VEKA DRIVE
FOMBELL, PA 16123

DRAWN: SES

DATE: 8-17-98

SCALE: 3/4

CHK'D:

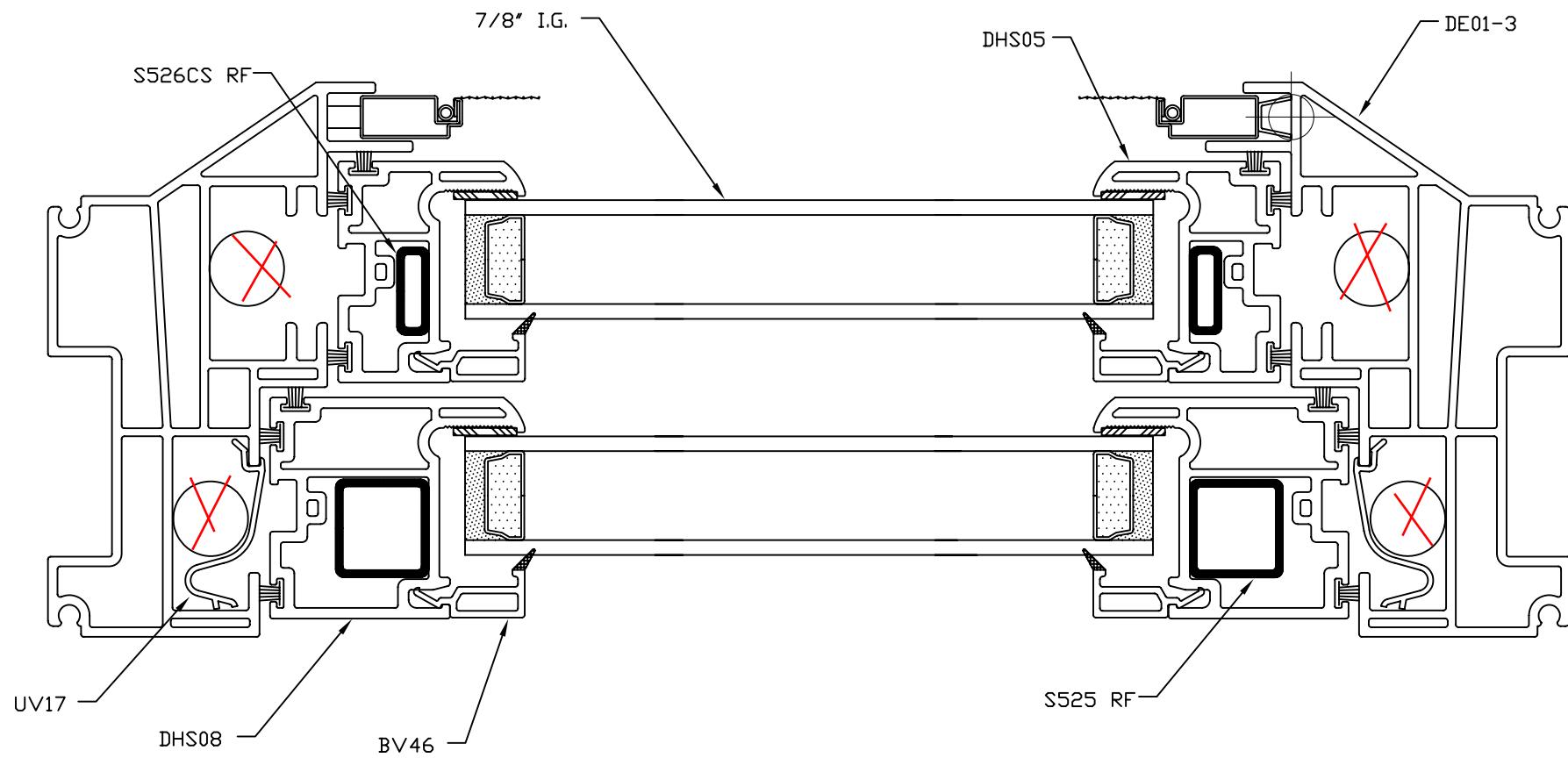
DATE:

APPV'D:

TITLE: DOUBLE HUNG DE1WW, EQ. GLASS
W/ DHS SASH VERTICAL ASSEMBLY

DWG. # DE1WWVBF

REVISIONS	DATE



NOTE:

FOR OTHER PROFILE, GLAZING BEAD, & GLASS OPTIONS, PLEASE SEE THE LINEAL PROFILE CHARTS FOR THIS SYSTEM.

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Report #: F7892-116-45
 Date: 05/12/16
 Verified by: *Alan*



VEKA INC.

100 VEKA DRIVE
 FOMBELL, PA 16123

DRAWN: SES	DATE: 22 JULY 97	SCALE: 3/4
CHK'D:	DATE:	APPV'D:
TITLE: DOUBLE HUNG DE1WW/DE3WW EQ. GLASS W/ DHS SASH HORIZ.ASSEMBLY		DWG. # DE1WWEHBA

REVISIONS	DATE





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

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a. Application No.: ARB-19-20

Applicant: Candice Brothers – Ecohouse solar

Owner: Eric Sauerhoff

Location: 762 Vernon

ARB Request: The applicant is seeking architectural review and approval to allow solar panels to be installed on the principal structure's south facing roof.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(ARB) Architectural Review Board**
Application - Major Review (for
Additions to Principal and Accessory
structures and New Principal
Structures that DO NOT REQUIRE A
VARIANCE. (You must proceed to the
BZAP application if you wish to
request a variance from the Zoning
Code) ARB meets on the 2nd
Thursday of the month (except
December) applications are due 4
weeks prior.

Applicant	Location
 Candice Brothers  6144567641  @ candice@ecohousesolar.com	762 VERNON RD Bexley, OH 43209

ARB-19-20

Submitted On: Nov 19, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Installation of solar panels on the back and side of the house. Will be visible from the street.

Architecture Review	Demolition
true	--
Planned Unit Dev	Rezoning
--	--

A.1: Attorney / Agent Information

Agent Name	Agent Address
Kurt Dieringer	1809 O'Brien Rd, Columbus, OH 43228
Agent Email	Agent Phone
kurt@ecohousesolar.com	614-456-7641
Property Owner Name	Property Owner phone
--	--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
9000	true
Major Architectural Review	Variance Review - Fill out a BZAP Application instead.
--	--
Zoning	Zoning Review Type
--	--
Sign Review and Architectural Review for Commercial Projects	Review Type
--	--

Appeal of ARB decision to BZAP**Appeal of BZAP decision to City Council**

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

--

B: Project Worksheet: Lot Info**Width (ft)**

--

Depth (ft)

--

Total Area (SF)

--

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

Removing (SF)

--

Type of Structure

--

Proposed New Primary Structure or Residence (SF)

--

Total Square Footage

--

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

--

Total of all garage and accessory structures (SF)

--

Total building lot coverage (SF)

--

Total building lot coverage (% of lot)

--

Is this replacing an existing garage and/or accessory structure?

--

B: Project Worksheet: Hardscape

Existing Driveway (SF)**Existing Patio (SF)**

--

Existing Private Sidewalk (SF)**Proposed Additional Hardscape (SF)**

--

Total Hardscape (SF)

--

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)****Total overall lot coverage (% of lot)**

--

--

C.1 Architectural Review Worksheet: Roofing**Roofing****Structure**

--

--

Existing Roof Type**New Roof Type**

--

--

New Single Manufacturer**New Roof Style and Color**

--

--

C.1 Architectural Review Worksheet: Windows**Windows****Structure**

--

--

Existing Window Type**Existing Window Materials**

--

--

New Window Manufacturer**New Window Style/Mat./Color**

--

--

C.1 Architectural Review Worksheet: Doors**Doors****Structure**

--

--

Existing Entrance Door Type**Existing Garage Door Type**

--

--

Door Finish**Proposed Door Type**

--

--

Proposed Door Style**Proposed Door Color**

--

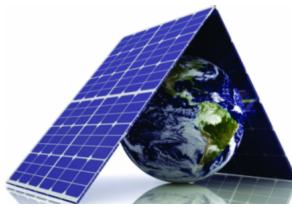
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C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim	Existing Door Trim
--	--
Proposed New Door Trim	Existing Window Trim
--	--
Proposed New Window Trim	Trim Color(s)
--	--

Do the proposed changes affect the overhangs?

Exterior Wall Finishes	Existing Finishes
--	--
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
--	--
Proposed Finishes Manufacturer, Style, Color	
--	



Semptember 26, 2019
Solar Paperwork, Inc.
1317 N. San Fernando Bl #343
Burbank, CA 91504

Subject: Structural Certification for Installation of Solar Panels

Client: Stacey Philliber and Eric Sauerhoff
Address: 762 Vernon Rd, Bexley OH 43209

Attn.: To Whom It May Concern

A field observation of the condition of the existing framing system was performed by an audit team from EcoHouse Solar
From the field observation of the property, the existing roof structure was observed as follows:

The existing roof structure consists of:

- Composition Shingle over Roof Plywood is supported by 2 X 6 @ 24" O.C. O.C. SPF#2 at the ARRAY.

The rafters are sloped at approximately 32 degree

Design Criteria:

- Applicable Codes = 2018 IBC/IRC, ASCE 7-16, and NDS-15 OHIO BUILDING CODE 2017
- Ground Snow Load = 20 psf; Roof Snow Load = 7 psf
- Roof Dead Load = 7.6 psf
- Basic Wind Speed = 115 mph Exposure Category C

I certify that the capacity of the structural roof framing that directly supports the additional gravity loading due to the solar panel supports and modules had been reviewed and determined to meet or exceed the requirements with structural upgrade in accordance with the 2018 IBC/IRC.OHIO BUILDING CODE 2017

If you have any questions on the above, do not hesitate to call.

Prepared By:
Solar Paperwork, Inc.





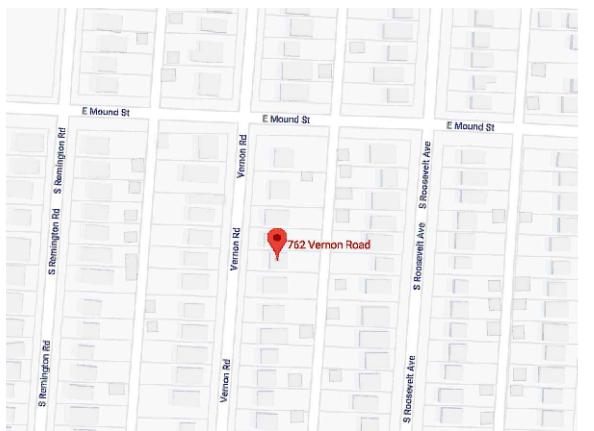
GENERAL NOTES

- ALL ELECTRICAL MATERIALS SHALL BE NEW AND LISTED BY RECOGNIZED ELECTRICAL TESTING LABORATORY
- CUSTOM MADE EQUIPMENT SHALL HAVE COMPLETE TEST DATA SUBMITTED BY THE MANUFACTURER ATTESTING TO ITS SAFETY
- OUTDOOR EQUIPMENT SHALL BE NEMA 3R RATED OR BETTER
- ALL METALLIC EQUIPMENT SHALL BE GROUNDED
- CONTRACTOR SHALL OBTAIN ELECTRICAL PERMITS PRIOR TO INSTALLATION AND SHALL COORDINATE ALL INSPECTIONS, TESTING COMMISSIONING AND ACCEPTANCE WITH THE CLIENT, UTILITY CO. AND CITY INSPECTORS AS NEEDED.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF SERVICE POINTS AND SERVICE SIZES WITH THE SERVING UTILITY COMPANY AND COMPLY WITH ALL UTILITY COMPANIES REQUIREMENTS.
- DRAWINGS ARE DIAGRAMMATIC ONLY, ROUTING OF RACEWAYS SHALL BE OPTION OF THE CONTRACTOR UNLESS OTHERWISE NOTED AND SHALL BE COORDINATED WITH OTHER TRADES.
- IF THE ROOF MATERIAL OR ROOF STRUCTURE NOT ADEQUATE FOR PV INSTALLATION, CALL ENGINEER PRIOR TO INSTALL. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT THE ROOF IS CAPABLE OF WITHSTANDING THE EXTRA WEIGHT.
- IF THE DISTANCES FOR CABLE RUNS ARE DIFFERENT THAN SHOWN, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL ENGINEER TO VALIDATE THE WIRE SIZE. FINAL DRAWINGS WILL BE RED-LINED AND UPDATED AS APPROPRIATE.
- WHENEVER A DISCREPANCY IN QUALITY OF EQUIPMENT ARISES ON THE DRAWING OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIAL AND SERVICES REQUIRED BY THE STRICTEST CONDITIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO ENSURE COMPLETE COMPLIANCE AND LONGEVITY OF THE OPERABLE SYSTEM REQUIRED BY THE ARCHITECT/ENGINEERS.
- ALL BROCHURES, OPERATION MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE HANDED OVER TO OWNER'S REPRESENTATIVE AT THE COMPLETION OF WORK

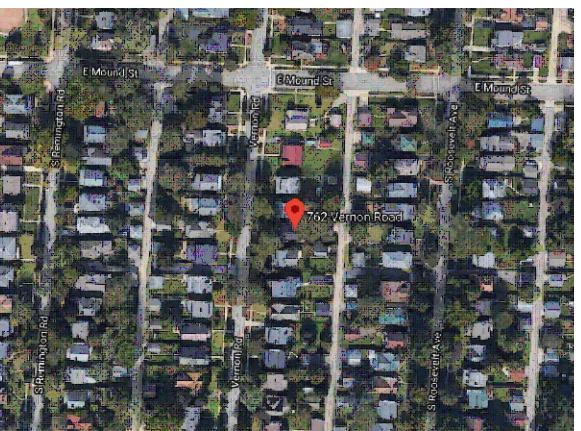
PHOTOVOLTAIC NOTES:

- ROOFTOP MOUNTED PHOTOVOLTAIC PANELS AND MODULES SHALL BE TESTED, LISTED AND IDENTIFIED BY RECOGNIZED ELECTRICAL TESTING LABORATORY
- SOLAR SYSTEM SHALL NOT COVER ANY PLUMBING OR MECHANICAL VENTS
- MODULES AND SUPPORT STRUCTURES SHALL BE GROUNDED.
- SOLAR INVERTER SHALL BE LISTED TO UL1741.
- REMOVAL OF AN INTERACTIVE INVERTER OR OTHER EQUIPMENT SHALL NOT DISCONNECT THE BONDING CONNECTION BETWEEN THE GROUNDING ELECTRODE CONDUCTOR AND THE PHOTOVOLTAIC SOURCE AND/OR OUTPUT CIRCUIT GROUNDED CONDUCTORS.

- ALL PV MODULES AND ASSOCIATED EQUIPMENT AND WIRING SHALL BE PROTECTED FROM PHYSICAL DAMAGE.
- LIVE PARTS OF PV SOURCE CIRCUITS AND PV OUTPUT CIRCUITS OVER 150V TO GROUND SHALL NOT BE ACCESSIBLE TO OTHER THAN QUALIFIED PERSONS WHILE ENERGIZED.
- INVERTER IS EQUIPPED WITH INTEGRATED GFDI, THUS PROVIDING GROUND FAULT PROTECTION
- ALL CONDUCTORS SHALL BE COPPER AND 90 DEG RATED
- ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED ELECTRICAL TESTING LABORATORY.
- A SINGLE CONDUCTOR SHALL BE PERMITTED TO BE USED TO PERFORM THE MULTIPLE FUNCTIONS OF DC GROUNDING, AC GROUNDING AND BONDING BETWEEN AC AND DC SYSTEMS.
- NON-CURRENT CARRYING METAL PARTS OF EQUIPMENT SHALL BE EFFECTIVELY BONDED TOGETHER. BOND BOTH ENDS OF RACEWAYS.



VICINITY MAP
SCALE: NTS



SATELLITE VIEW
SCALE: NTS

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1	ROOF PLAN
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4	SITE PLAN
5	ATTACHMENT LAYOUT
6	INVERTER DATA SHEET
7	MODULE DATA SHEET
8	RSD DATA SHEET
9	RACKING DATA SHEET
10	ATTACHMENT DATA SHEET
11	RSD DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

MAIN

THE INSTALLATION OF SOLAR ARRAYS AND PHOTOVOLTAIC POWER SYSTEMS SHALL COMPLY WITH THE FOLLOWING CODES:

NATIONAL ELECTRICAL CODE 2017
OHIO BUILDING CODE 2017
INTERNATIONAL FIRE CODE 2017
INTERNATIONAL ENERGY CONSERVATION CODE 2018

AS ADOPTED BY THE STATE OF OHIO

ALL OTHER ORDINANCE ADOPTED BY THE LOCAL GOVERNING AGENCIES

PV SOLAR SYSTEM DETAILS

SYSTEM SIZE: DC STC: 6.93 KW
SYSTEM SIZE: AC CEC: 6.34 KW
SOLAR MODULES: (19) LG 365 watt
INVERTERS: (19) Enphase IQ7 Plus Microinverters

ELECTRICAL INFORMATION:

EXISTING
MAIN SERVICE PANEL BUS SIZE: 200A
MAIN SERVICE BREAKER SIZE: 200A
MOUNTING SYSTEM: IRONRIDGE

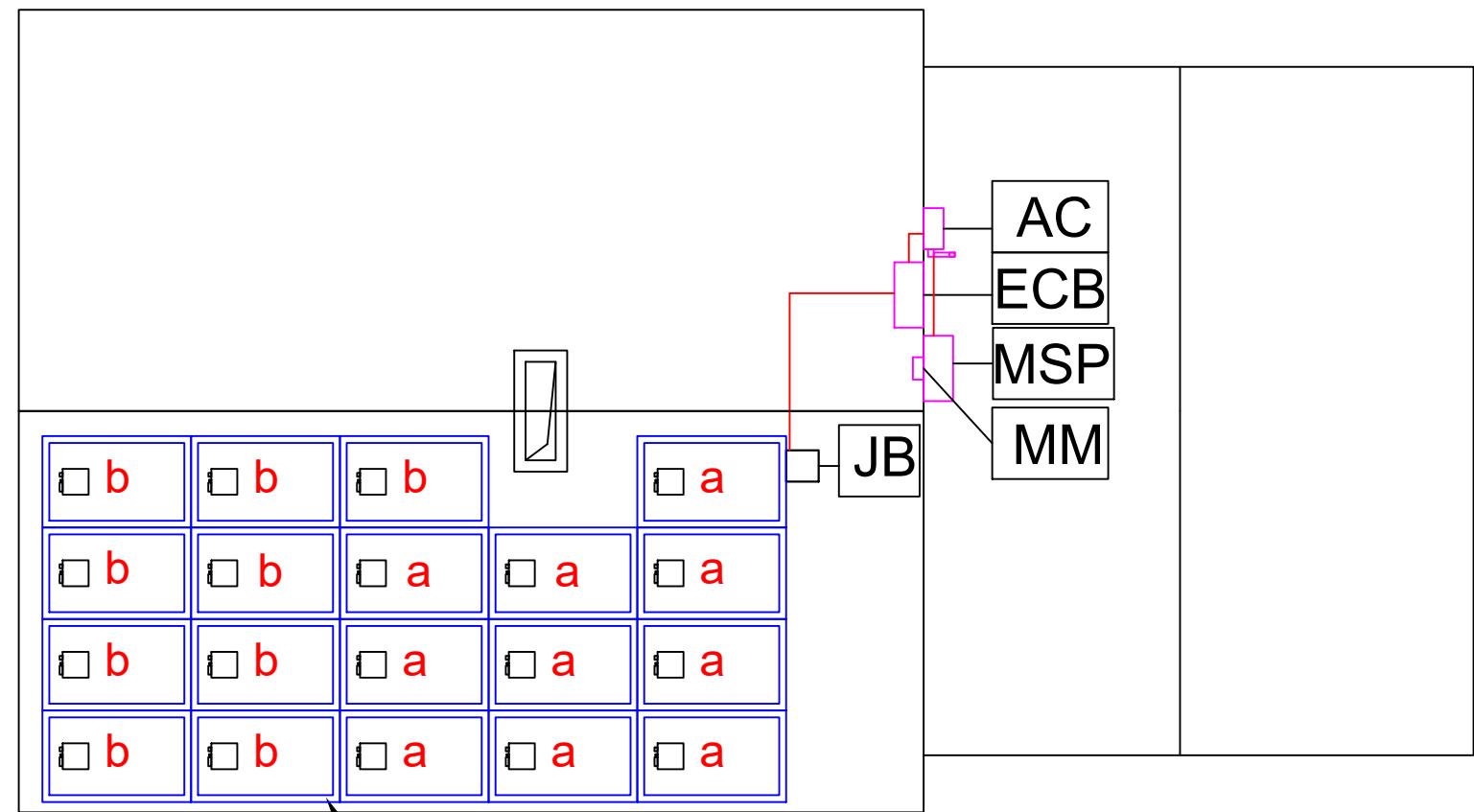
BUILDING INFORMATION:

ONE STORY HOUSE
CONSTRUCTION TYPE: V-B
OCCUPANCY: R
ROOF: COMP. SHINGLE
RAFTER: 2 X 6 @ 24" O.C.

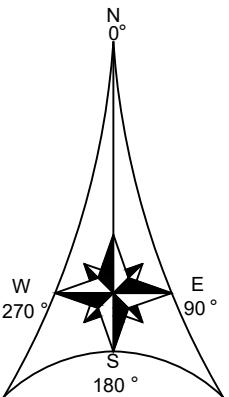
INDEX	
MSP	(E) Main Service Panel
MM	(E) Main Meter
ECB	(N) Enphase Combiner Box
AC	(N) AC Disconnect
JB	(N) Junction Box
	Microinverter/Optimizer
	Solar Module
	Conduit
	Setback

Total Roof Area: 963.3
 Total Module Area: 342
 35.5 % of Coverage

Vernon Rd



Solar PV Array
 19 - LG 365W Modules
 19 - IQ7 Plus Microinverters
 Pitch: 32 Deg
 Orientation: 90 Deg



SCALE: 3/32" = 1'-0"

1 **ROOF PLAN**

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ITEM	DESCRIPTION	QTY
①	PV MODULE LG LG365Q1C-V5 Voc = 42.8V, Vmp = 36.7V Isc = 10.8A, Imp = 9.95A	19
②	SOLARDECK JB 4"x4"x2" UL LISTED WATER TIGHT NEMA TYPE 3	1
③	MAIN SERVICE PANEL (E) MAIN SERVICE PANEL & METER 200A BUSBAR & 200A MAIN BREAKER	1
④	ENPHASE IQ7 PLUS MICROINVERTERS IQ7PLUS-72-X-US (240V) PEAK PWR TRACKING VOLTAGE: = 27-45 V CEC EFFICIENCY: = 97.0 % ENCLOSURE: NEMA 6 MAXIMUM INPUT CURRENT: = 15 A MAXIMUM OUTPUT CURRENT: = 1.21A MAXIMUM INPUT POWER: = 235 - 440W+ MAXIMUM OUTPUT POWER: = 240 W	19
⑤	ECB	1
⑥	AC DISCONNECT	1
⑦	MM	1

WIRE CHART						
#	MODULE QTY x NEC MULT x MICROINV. OUTPUT AMPS = DESIGN AMPS	BREAKER SIZE (A)	WIRE TYPE	EGC	WIRE RATING X TEMP DERATE X CONDUCTOR DERATE = DERATED WIRE	CONDUIT SIZE
①a	10 X 1.25 X 1.21 = 15.1 A	20	(2) #12 AWG, ENPHASE Q CABLE	(1) #6 BARE SOLID COPPER GEC	30 X .71 X 1 = 21.3 >= 15.1	IN FREE AIR
①b	9 X 1.25 X 1.21 = 13.6 A	15	(2) #12 AWG, ENPHASE Q CABLE	(1) #6 BARE SOLID COPPER GEC	30 X .71 X 1 = 21.3 >= 13.6	IN FREE AIR
②	10 X 1.25 X 1.21 = 15.1 A	20	(4) #10 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	40 X .71 X .8 = 22.7 >= 15.1	3/4" EMT
③	19 X 1.25 X 1.21 = 28.7 A	30	(3) #8 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	55 X .91 X 1 = 50.05 >= 28.7	3/4" EMT
④	19 X 1.25 X 1.21 = 28.7 A	30	(3) #8 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	55 X .91 X 1 = 50.05 >= 28.7	3/4" EMT

KEY NOTES:

- SOLID BARE G.E.C (FREE-AIR) MOUNTED UNDER ARRAY
- PER NEC ARTICLE 690.35 INVERTER GROUND FAULT PROTECTION PROVIDED
- ALL GROUNDS AND NEUTRALS BONDED TO EXISTING GROUNDING CONDUCTOR W/IRREVERSIBLE CRIP CONNECTOR,
- BACKFED BREAKERS MUST BE LOCATED @ OPPOSITE END OF BUS BAR FROM MAIN BREAKER OR MAIN LUG ON GRID SIDE. WHEN A BACKFED BREAKER IS THE METHOD OF UTILITY INTERCONNECTION, BREAKER SHALL NOT READ 'LINE OR LOAD'.
- PER CEC 250.65(C): CONDUCTOR SPLICES ONLY ALLOWED WITH COMPRESSION CONNECTORS OR EXOTHERMIC WELDING
- ALL GROUNDS AND NEUTRALS BONDED TO EXISTING GROUNDING CONDUCTOR W/IRREVERSIBLE CRIP CONNECTOR,
- VERIFY (E) UFER GROUND NEAR MSP. IF (E) UFER IS NOT ACCESSIBLE OR VERIFIABLE, INSTALL A NEW 5/8" Ø X 8' LONG GROUNDING ROD AND BOND SOLAR SYSTEM EQUIPMENT GROUNDING ACCORDINGLY.

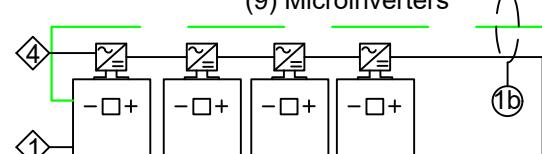
LOAD/LINE SIDE INTERCONNECTION AT MAIN PANEL PER ART. 705.12

AC SYSTEM SIZE CALCULATION			
Module PTC Rating (W)	x	NO. of Modules	Average Inverter CEC Efficiency
344.1	x	19	97% = 6.34 kW AC

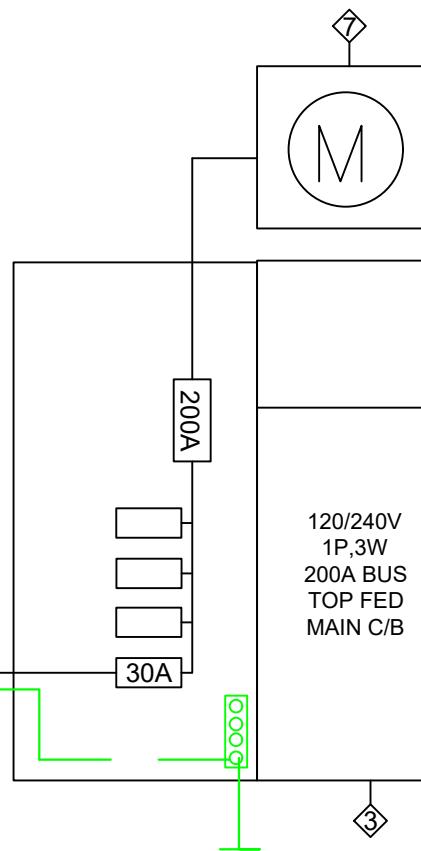
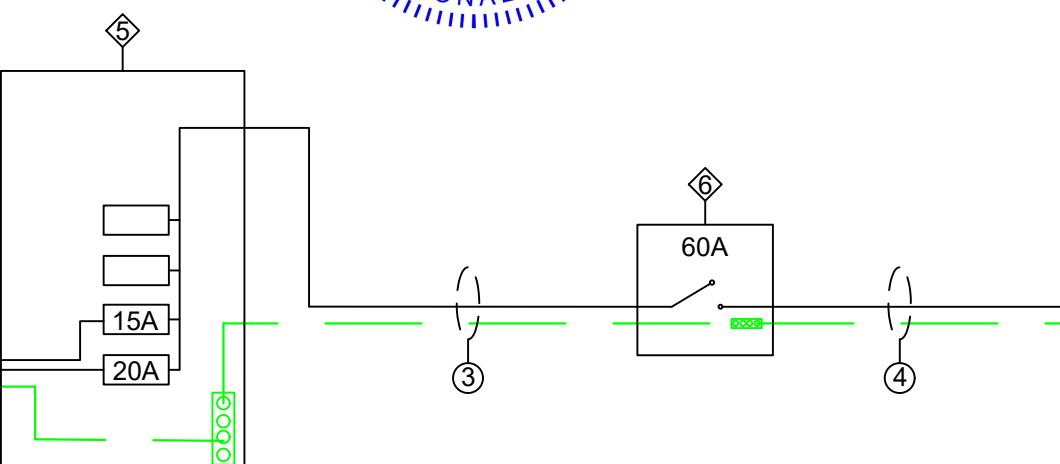
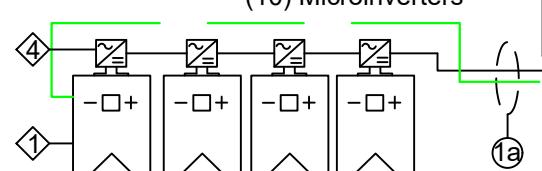
PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

120% RULE CALCULATION PER NEC 705.12(D)(2)(3)		
MAIN BUSBAR RATING:	200	AMPS
MAIN SERVICE BREAKER RATING:	200	AMPS
PV BACKFED CURRENT:	30	AMPS
BUSBAR X 120% - MAIN BREAKER	= MAX PV BREAKER	
240	200	= 40

Branch Circuit **b**: (9) Modules
(9) Microinverters



Branch Circuit **a**: (10) Modules
(10) Microinverters



2 SINGLE LINE DIAGRAM

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DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

1 CAUTION AUTHORIZED SOLAR PERSONNEL ONLY!

2 CAUTION SOLAR DC CURRENT PRESENT DURING DAYLIGHT HOURS
(STICKER TO BE LOCATED ON CONDUIT WITH DC CURRENT EVERY 4' HORIZONTALLY OR 10' VERTICALLY AND 1' FROM EACH SIDE OF A BEND)

3 WARNING! ELECTRIC SHOCK HAZARD. IF GROUND FAULT IS INDICATED, NORMALLY GROUNDED CONDUCTORS MAY BE UNGROUNDED AND ENERGIZED.

4 DC DISCONNECT
DC PHOTOVOLTAIC POWER SOURCE
RATED MAX POWER POINT CURRENT: ____ AMPS
RATED MAX POWER POINT VOLTAGE: ____ VOLTS
MAXIMUM SYSTEM VOLTAGE: ____ VOLTS
SHORT CIRCUIT CURRENT: ____ AMPS

5 WARNING! ELECTRIC SHOCK HAZARD. DO NOT TOUCH THE TERMINALS. TERMINALS ON BOTH THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION.

11 PV LOAD CENTER SIZED FOR PV BREAKERS ONLY OR RENDERED UNABLE TO ACCEPT ANY ADDITIONAL LOADS.
(STICKER LOCATED ON THE PV SUB PANEL)

6 PV SUB-PANEL ONLY
(TO BE LOCATED ON SUB-PANEL ONLY WHEN SUB-PANEL IS DEDICATED FOR PV ONLY)

7 AC DISCONNECT
AC PHOTOVOLTAIC POWER SOURCE
RATED AC OUTPUT CURRENT: 28.7 A MAX
NOMINAL AC OPERATING VOLTAGE: 240 Vac

8 THIS PANEL FED BY MULTIPLE SOURCES (UTILITY & SOLAR)

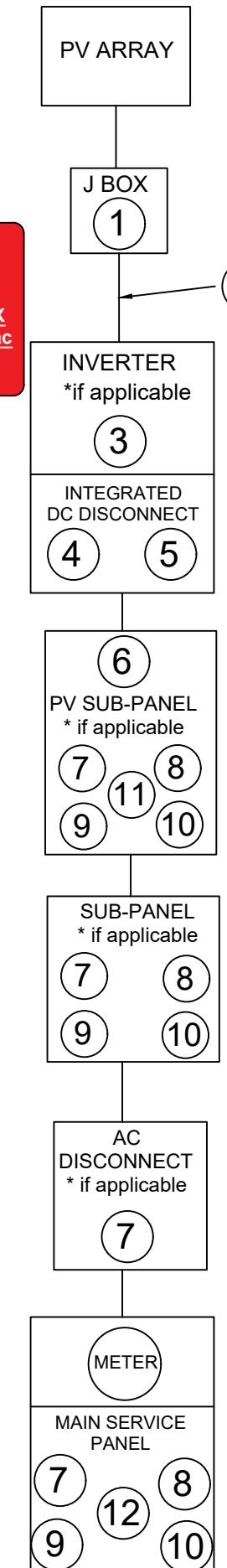
9 SOLAR
(STICKER LOCATED INSIDE PANEL NEXT TO SOLAR BREAKER)

10 WARNING!
INVERTER OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE
(STICKER LOCATED INSIDE PANEL BELOW PV BREAKER)

12 PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUT DOWN
(STICKER LOCATED ON THE MAIN SERVICE PANEL)

Permanent directory or plaque providing location of service disconnecting means and photovoltaic system disconnecting means, if not located at the same location. (Plaques shall be metal or plastic, with engraved or machine printed letters, or electro-photo plating, in a contrasting color to the plaque. Plaques shall be permanently attached to the equipment or in the required location using an approved method that is suitable to withstand the environment to which it is exposed. Plaques and signage shall meet legibility, defacement, exposure and adhesion requirements of Underwriters Laboratories marking and labeling system 969(UL969).

Plaques will have red background & white lettering.



MARKINGS, LABELS AND WIRING SIGNS

A. Purpose: Provide emergency responders with appropriate warning and guidance with respect to isolating solar electric system.
This can facilitate identifying energized electrical lines that connect solar panels to the inverter, as these should not be cut when venting for smoke removal

B. Main Service Disconnect.

1. Residential buildings - The marking main be placed within the main service disconnect. The marking shall be placed outside cover if the main service disconnect is operable with the service panel closed.

2. Commercial buildings - The marking shall be placed adjacent to the main service disconnect clearly visible from the location where the level is operated

3. Markings: Verbiage, Format and Type of Material.

a. Verbiage: CAUTION: SOLAR ELECTRIC SYSTEM CONNECTED

b. Format: White lettering on a red background. Minimum 3/8 inches letter height. All letters shall be capitalized. Arial or similar font, non bold.

c. Material: Reflective, weather resistant material suitable for the environment (use UL-969 as standard for weather rating). Durable adhesive materials meet this requirement.

C. Marking Requirements on DC conduit, raceways, enclosures, cable assemblies, DC combiners and junction boxes:

1. Markings: Verbiage, Format and Type of Material.

a. Placement: Markings shall be placed every 10 feet on all interior and exterior DC conduits, raceways, enclosures, and cable assemblies, at turns, above and for below penetrations, all DC combiners and junction boxes

b. Verbiage: CAUTION: SOLAR CIRCUIT Note: The format and type of material shall adhere to "V. V-3b, c" of this requirement.

c. Inverters are not required to have caution markings

1. Marking is required on all interior and exterior DC conduit raceways, enclosures, cable assemblies, and junction boxes, combiner boxes and disconnects.

2. The materials used for marking shall be reflective, weather resistant material suitable for the environment.

Minimum 3/8 "letter height; all upper case letters Arial or similar font; Red background with white lettering.

3. Marking shall contain the words: **WARNING : PHOTOVOLTAIC POWER SOURCE**.

4. Marking shall be placed adjacent to the main service disconnect in a location clearly visible from the location where the disconnect is operated



3 SIGNAGE

Project Name:
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Property address:
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Ecohouse Solar

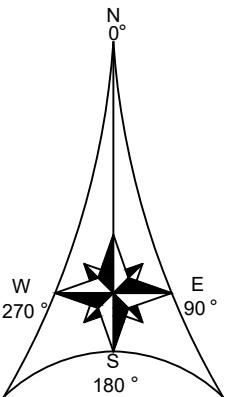
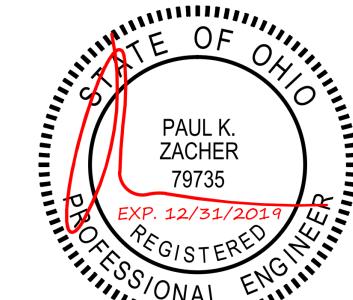
1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

INDEX

MSP	(E) Main Service Panel
MM	(E) Main Meter
ECB	(N) Enphase Combiner Box
AC	(N) AC Disconnect
	Solar Module



SCALE: 1/16" = 1'-0"

4**SITE PLAN**

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

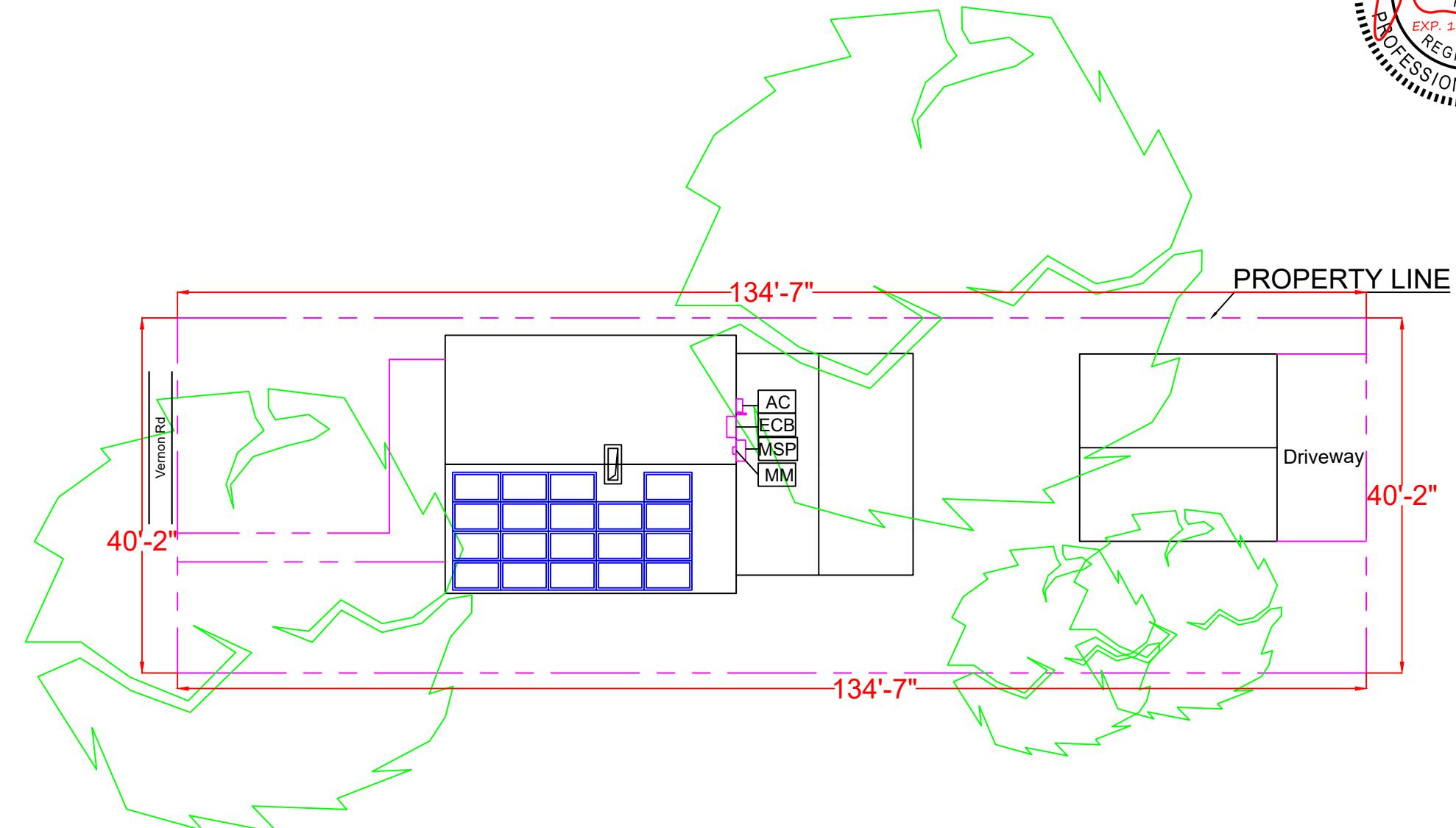
CONTRACTOR

Ecohouse Solar

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Columbus, OH 43212



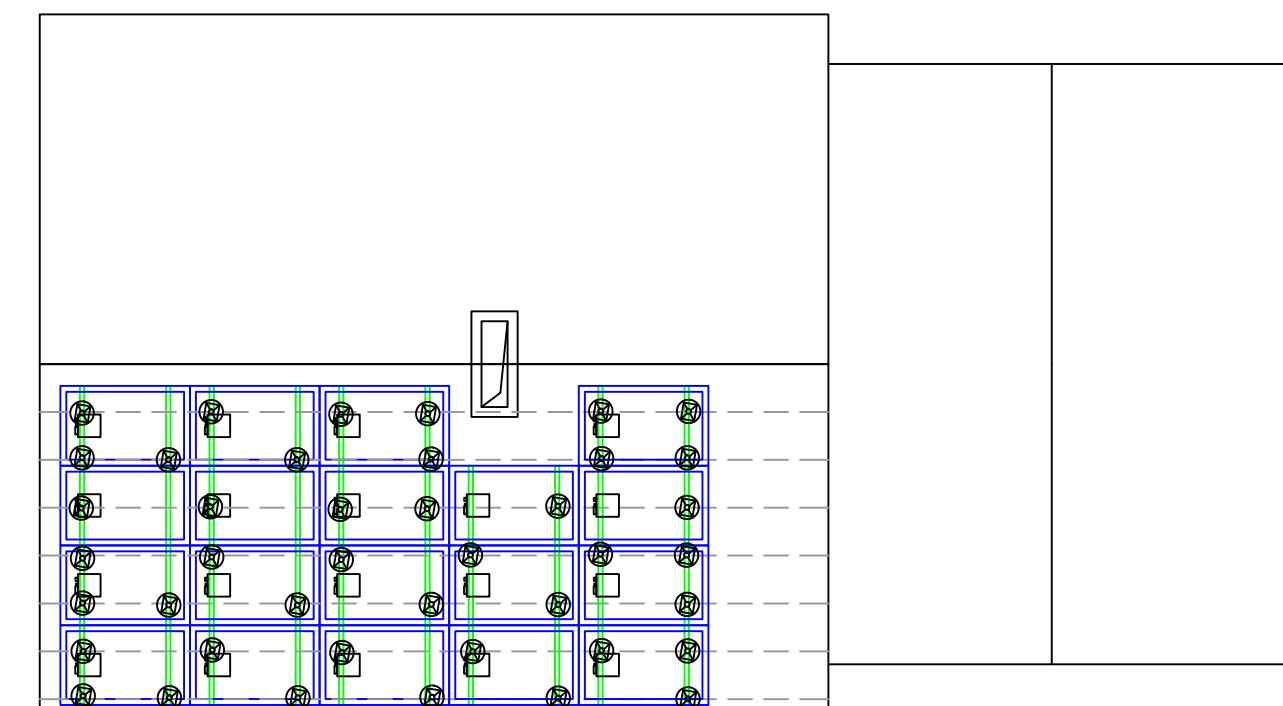
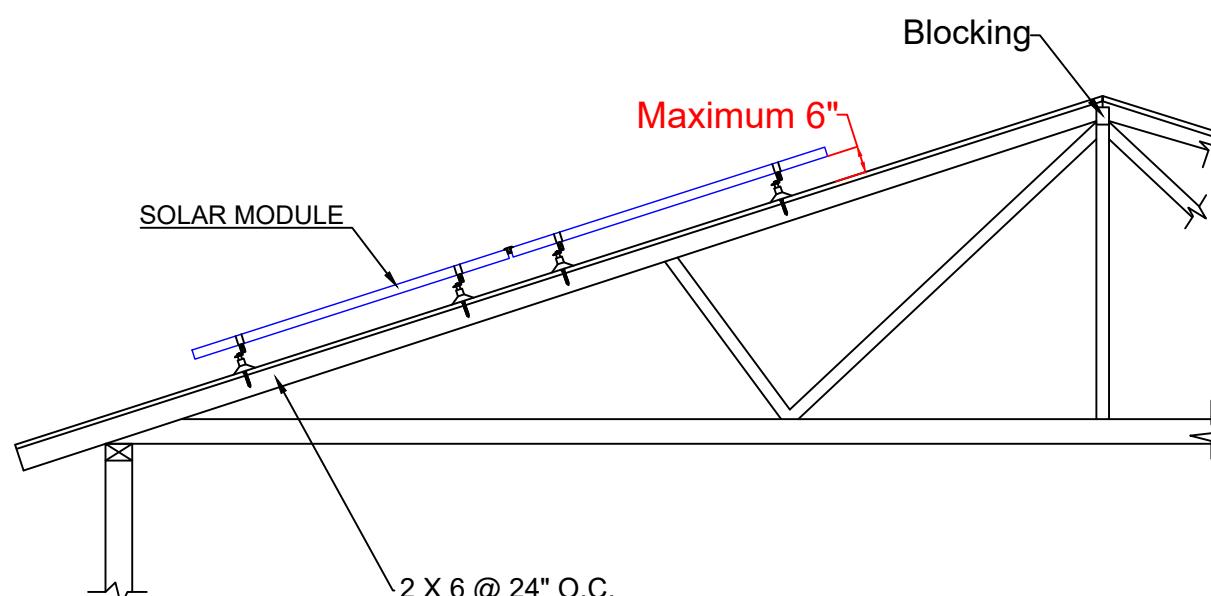
DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



MODULE WEIGHT (lbs)	38.6
# OF MODULES	19
TOTAL MODULE WEIGHT (lbs)	733.4
RACK WEIGHT (lbs)	146.6
MICROINVERTER WEIGHT (lbs)	45.2
TOTAL SYSTEM WEIGHT (lbs)	925.2
# OF STANDOFFS	42
MAX SPAN BETWEEN STANDOFFS (in)	48
LOADING PER STANDOFF (lbs)	22.02
TOTAL AREA (sq.ft.)	342
LOADING (PSF)	2.70

1. IronRidge Racking System
2. Roof Tech Minis Attachment
3. Roof attachment hardware to be mounted to existing structure (2 X 6 @ 24" O.C. Rafter) with 48" O.C. rail spans or less.
4. Lag bolts are 5/16" X 3.5" stainless steel with 2.5" minimum embedment into the center of the roof
5. Roof sheathed with 1/2" plywood and upper surface is faced with felt paper.

Finished roof surface is **One layer of COMP. SHINGLE.**



5 ATTACHMENT LAYOUT

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

* The IQ 7+ Micro is required to support 72-cell modules.

To learn more about Enphase offerings, visit enphase.com

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Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-B-US	IQ7PLUS-72-2-US / IQ7PLUS-72-B-US		
Commonly used module pairings ¹	235 W - 350 W +	235 W - 440 W +		
Module compatibility	60-cell PV modules only	60-cell and 72-cell PV modules		
Maximum input DC voltage	48 V	60 V		
Peak power tracking voltage	27 V - 37 V	27 V - 45 V		
Operating range	16 V - 48 V	16 V - 60 V		
Min/Max start voltage	22 V / 48 V	22 V / 60 V		
Max DC short circuit current (module Isc)	15 A	15 A		
Overvoltage class DC port	II	II		
DC port backfeed current	0 A	0 A		
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit			
OUTPUT DATA (AC)	IQ 7 Microinverter	IQ 7+ Microinverter		
Peak output power	250 VA	295 VA		
Maximum continuous output power	240 VA	290 VA		
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 183-229 V 240 V / 211-264 V 183-229 V		
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V) 1.21 A (240 V) 1.39 A (208 V)		
Nominal frequency	60 Hz	60 Hz		
Extended frequency range	47 - 68 Hz	47 - 68 Hz		
AC short circuit fault current over 3 cycles	5.8 Arms	5.8 Arms		
Maximum units per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC) 13 (240 VAC) 11 (208 VAC)		
Overvoltage class AC port	III	III		
AC port backfeed current	0 A	0 A		
Power factor setting	1.0	1.0		
Power factor (adjustable)	0.7 leading ... 0.7 lagging	0.7 leading ... 0.7 lagging		
EFFICIENCY	@240 V	@208 V	@240 V	@208 V
Peak CEC efficiency	97.6 %	97.6 %	97.5 %	97.3 %
CEC weighted efficiency	97.0 %	97.0 %	97.0 %	97.0 %
MECHANICAL DATA				
Ambient temperature range	-40°C to +65°C			
Relative humidity range	4% to 100% (condensing)			
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)			
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 intermateable). Adaptors for modules with MC4 or UTX connectors: - PV2 to MC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25			
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)			
Weight	1.08 kg (2.38 lbs)			
Cooling	Natural convection - No fans			
Approved for wet locations	Yes			
Pollution degree	PD3			
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure			
Environmental category / UV exposure rating	NEMA Type 6 / outdoor			
FEATURES				
Communication	Power Line Communication (PLC)			
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.			
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.			
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.			

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.

2. Nominal voltage range can be extended beyond nominal if required by the utility.

3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com

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2018-05-24

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6 INVERTER DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

LG NeON® R

LG370Q1C-V5 | LG365Q1C-V5

370W | 365W

LG NeON® R is a powerful solar module that provides world-class performance. A new cell structure that eliminates electrodes on the front maximizes the utilization of light and enhances reliability.

LG NeON® R is a result of LG's efforts to increase customer's values beyond efficiency. LG NeON® R features enhanced durability, performance under real-world conditions, an enhanced warranty and aesthetic design suitable for roofs.



Feature



Aesthetic Roof

LG NeON® R has been designed with aesthetics in mind: the lack of any electrodes on the front creates an improved, modern aesthetic.



Extended Product Warranty

LG has extended the product warranty of the LG NeON® R to 25 years which is top level of the industry.



Enhanced Performance Warranty

LG NeON® R has an enhanced performance warranty. After 25 years, LG NeON® R is guaranteed to perform at minimum 90.8% of initial performance.



More generation per square meter

The LG NeON® R has been designed to significantly enhance its output, making it efficient even in limited space.

About LG Electronics

LG Electronics is a global big player, committed to expanding its operations with the solar market. The company first embarked on a solar energy source research program in 1985, supported by LG Group's vast experience in the semi-conductor, LCD, chemistry and materials industries. In 2010, LG Solar successfully released its first Monocrystalline series to the market, which is now available in 32 countries. The NeON® (previous Monocrystalline), NeON® 2, NeON® 2 BiFacial won the "Intersolar AWARD" in 2013, 2015 and 2016, which demonstrates LG Solar's lead, innovation and commitment to the industry.



LG NeON® R

LG370Q1C-V5 | LG365Q1C-V5

General Data

Cell Properties(Material / Type)	Monocrystalline / N-type
Cell Maker	LG
Cell Configuration	60 Cells (6 x 10)
Module Dimensions(L x W x H)	1,700mm x 1,016mm x 40mm
Weight	17.5 kg
Glass(Thickness / Material)	2.8mm / Tempered Glass with AlE Coating
Backsheet(Color)	White
Frame(Material)	Anodized Aluminum
Junction Box(Protection Degree)	IP68 with 3 Bypass Diodes
Cables(Length)	1,000mm x 2EA
Connector(Type / Maker)	MC4 / MC

Electrical Properties (STC*)

Model	LG370Q1C-V5	LG365Q1C-V5
Maximum Power (Pmax)	[W] 370	365
MPP Voltage (Vmpp)	[V] 37.0	36.7
MPP Current (Impp)	[A] 10.01	9.95
Open Circuit Voltage (Voc, ±5%)	[V] 42.8	42.8
Short Circuit Current (Isc, ±5%)	[A] 10.82	10.80
Module Efficiency	[%] 21.4	21.1
Power Tolerance	[%] 0 ~ -3	

* STC (Standard Test Condition): Irradiance 1000 W/m², Cell Temperature 25 °C, AM 1.5, Measure Tolerance ± 3%.

Operating Conditions

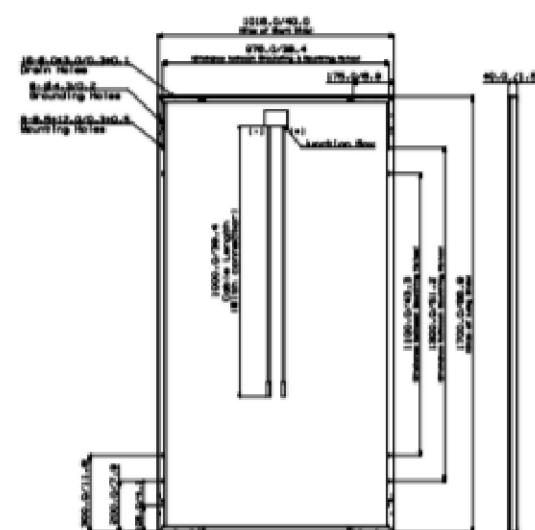
Operating Temperature	[°C] -40 ~ +90
Maximum System Voltage	[V] 1,000
Maximum Series Fuse Rating	[A] 20
Mechanical Test Load(Front)	[Pa / psi] 5,400 / 113
Mechanical Test Load(Rear)	[Pa / psi] 4,000 / 83.5

* Test Load = Design x Safety Factor(1.5)

Packaging Configuration

Number of Modules Per Pallet	[EA] 25
Number of Modules Per 40ft HQ Container	[EA] 650
Packaging Box Dimensions (L x W x H)	[mm] 1,750 x 1,120 x 1,221
Packaging Box Gross Weight	[kg] 473

Dimensions (mm / inch)



Temperature Characteristics

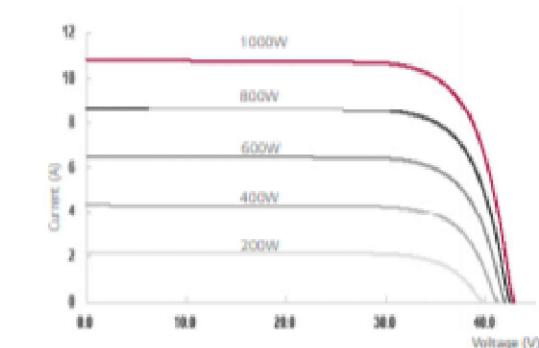
NMOT*	[°C] 44 ± 3
Pmax	[%/°C] -0.30
Voc	[%/°C] -0.24
Isc	[%/°C] 0.037

* NMOT(Nominal Module Operating Temperature): Irradiance 850 W/m², Ambient temperature 20 °C, Wind speed 1 m/s, Spectrum AM 1.5

Electrical Properties (NMOT)

Model	LG370Q1C-V5	LG365Q1C-V5
Maximum Power (Pmax)	[W] 370	365
MPP Voltage (Vmpp)	[V] 36.9	36.6
MPP Current (Impp)	[A] 10.01	9.95
Open Circuit Voltage (Voc)	[V] 40.3	40.2
Short Circuit Current (Isc)	[A] 8.71	8.70

I-V Curves



LG Electronics Inc.
Solar Business Division
LG Twin Towers, 128 Yeouido-dong, Yeongdeungpo-gu, Seoul
123-36, Korea
www.lg-solar.com

Product specifications are subject to change without notice.
05-V5-60-C-G-F-EN-00314
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7

MODULE DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212

 ecohouse SOLAR

DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

Enphase AC Combiner Box

The **Enphase AC Combiner Box™** with Enphase Envoy-S™ consolidates interconnection equipment into a single enclosure and streamlines PV installations by providing a consistent, pre-wired solution for residential applications.



Smart

- Includes Envoy-S for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular

Simple

- Three pre-installed 20 A / 240 VAC circuit breakers
- Pre-configured revenue-grade metering available

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty

Enphase AC Combiner Box

MODEL NUMBERS

XAM1-120-B (880-00834) or
XAM1-120 (880-00211)

AC Combiner with Enphase Envoy-S Metered™ for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional consumption monitoring (+/- 2.5%).

ACCESSORIES (order separately)

Enphase Mobile Connect™
CELLMODEM-01 (3G) or
CELLMODEM-03 (4G)

Plug and play industrial grade cellular modem with five-year data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.)

Consumption Monitoring CT
CT-200-SPLIT

Split core current transformers enable whole home consumption metering (+/- 2.5%).

ELECTRICAL SPECIFICATIONS

Rating	Continuous duty
Solar branch circuit breakers	Three 2-pole 20 A / 240 VAC DIN rail-mounted breakers
Maximum system voltage	240 VAC
Rated output current	48 A
Rated input current, each input	16 A
Maximum fuse/circuit breaker rating (output)	60 A
Production Metering CT	200 A solid core pre-installed on solar busbar and wired to Envoy-S

MECHANICAL DATA

Dimensions (WxHxD)	38.0 x 38.7 x 20.3 cm (15.0" x 15.3" x 8.0")
Weight	5.1 kg (11.2 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Vented, natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Altitude	To 2000 meters (6,560 feet)
Wire size:	Follow local code requirements for conductor sizing.
Model XAM1-120-B	<ul style="list-style-type: none"> 14 to 6 AWG copper conductors for branch inputs. 14 to 4 AWG copper conductors for combined output.
Model XAM1-120	<ul style="list-style-type: none"> 12 to 6 AWG copper conductors for branch inputs. 12 to 4 AWG copper conductors for combined output.

INTERNET CONNECTION OPTIONS

Integrated Wi-Fi	802.11b/g/n
Ethernet	802.3, Cat5E (or Cat 6) UTP Ethernet cable - (not included)
Cellular	Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) - (not included)

COMPLIANCE

Compliance, Combiner Box	UL 1741
Compliance, Envoy-S	<ul style="list-style-type: none"> UL 916 CAN/CSA C22.2 No. 61010-1 47 CFR, Part 15, Class B, ICES 003 IEC/EN 61010-1:2010, EN50065-1, EN61000-4-5, EN61000-6-1, EN61000-6-2 Metering: ANSI C12.20 accuracy class 0.5

To learn more about Enphase offerings, visit enphase.com

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2017-04-14



8 ENPHASE AC COMBINER BOX DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



To learn more about Enphase offerings, visit enphase.com





Flush Mount System

[Datasheet](#)

Built for solar's toughest roofs.

IronRidge builds the strongest mounting system for pitched roofs in solar. Every component has been tested to the limit and proven in extreme environments.

Our rigorous approach has led to unique structural features, such as curved rails and reinforced flashings, and is also why our products are fully certified, code compliant and backed by a 25-year warranty.



Strength Tested

All components evaluated for superior structural performance.



PE Certified

Pre-stamped engineering letters available in most states.



Class A Fire Rating

Certified to maintain the fire resistance rating of the existing roof.



Design Assistant

Online software makes it simple to create, share, and price projects.



UL 2703 Listed System

Entire system and components meet newest effective UL 2703 standard.



25-Year Warranty

Products guaranteed to be free of impairing defects.

XR Rails

XR10 Rail



A low-profile mounting rail for regions with light snow.

- 6' spanning capability
- Moderate load capability
- Clear and black finish

XR100 Rail



The ultimate residential solar mounting rail.

- 8' spanning capability
- Heavy load capability
- Clear and black finish

XR1000 Rail



A heavyweight mounting rail for commercial projects.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish

Bonded Splices



All rails use internal splices for seamless connections.

- Self-drilling screws
- Varying versions for rails
- Forms secure bonding

Clamps & Grounding

UFOs



Universal Fastening Objects bond modules to rails.

- Fully assembled & lubed
- Single, universal size
- Clear and black finish

Stopper Sleeves



Snap onto the UFO to turn into a bonded end clamp.

- Bonds modules to rails
- Sized to match modules
- Clear and black finish

CAMO



Bond modules to rails while staying completely hidden.

- Universal end-cam clamp
- Tool-less installation
- Fully assembled

Grounding Lugs



Connect arrays to equipment ground.

- Low profile
- Single tool installation
- Mounts in any direction

Attachments

FlashFoot2



Flash and mount XR Rails with superior waterproofing.

- Twist-on Cap eases install
- Wind-driven rain tested
- Mill and black finish

Conduit Mount



Flash and mount conduit, strut, or junction boxes.

- Twist-on Cap eases install
- Wind-driven rain tested
- Secures 3/4" or 1" conduit

Slotted L-Foot



Drop-in design for rapid rail attachment.

- Secure rail connections
- Slot for vertical adjusting
- Clear and black finish

Bonding Hardware



Bond and attach XR Rails to roof attachments.

- T & Square Bolt options
- Nut uses 7/16" socket
- Assembled and lubricated

Resources



Design Assistant

Go from rough layout to fully engineered system. For free.

[Go to IronRidge.com/design](#)



NABCEP Certified Training

Earn free continuing education credits, while learning more about our systems.

[Go to IronRidge.com/training](#)

9

RACKING DATA SHEET

Project Name:

Stacey Philliber and Eric Sauerhoff

Property address:

762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

RT-MINI

Flexible Flashing certified by the International Code Council (ICC)

Engineered to ASTM D 1761 (Standard Test Methods for Mechanical Fasteners in Wood)

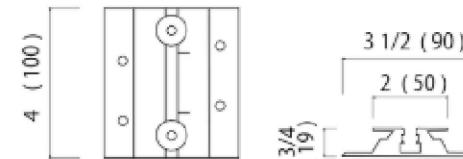
Components

RT2-00-MINIBK
PAT : PENDING

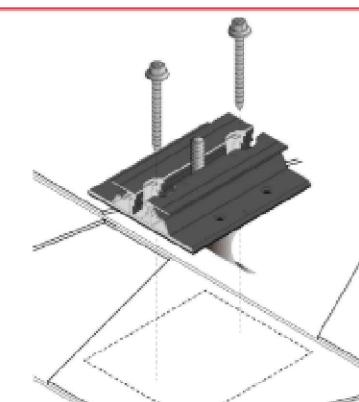


MINI base : 20 ea.
Screw : 40 ea.
Extra RT-Butyl : 10 ea.

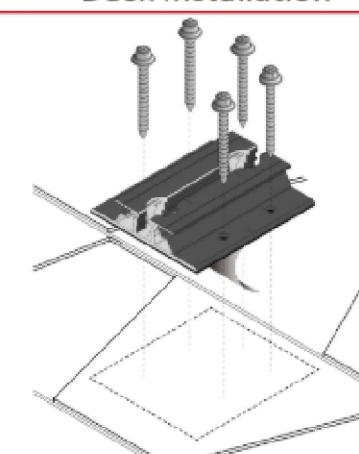
Dimensions in (mm)



Rafter installation



Deck installation



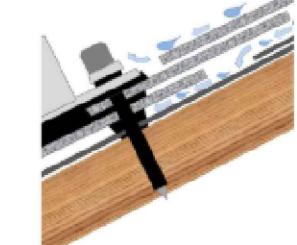
P.E. Stamped Letters available at www.roof-tech.us/support

RT-Butyl is Roof Tech's flexible flashing used in 550,000 residential PV systems for the last 20 years. It is the first PV mounting system with Flexible Flashing certified by the ICC.

Metal Flashing Retrofit



Flexible Flashing



100% Waterproof

ICC ESR-3575 ASTM2140 testing UV testing (7500 hrs.)

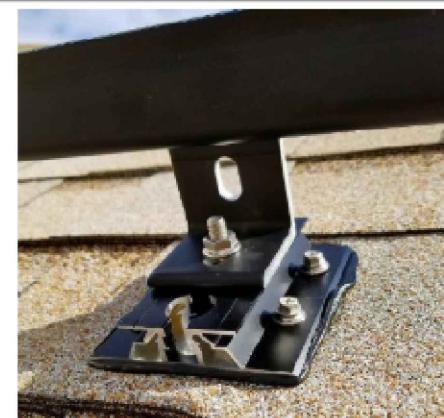


Roof Tech Inc.
www.roof-tech.us info@roof-tech.us
10620 Treana Street, Suite 230, San Diego, CA 92131
858.935.6064

RT-MINI

Self-flashing base for asphalt & metal roof-top PV mounting systems

RT-MINI is suitable for mounting any rail system with a conventional L-Foot.



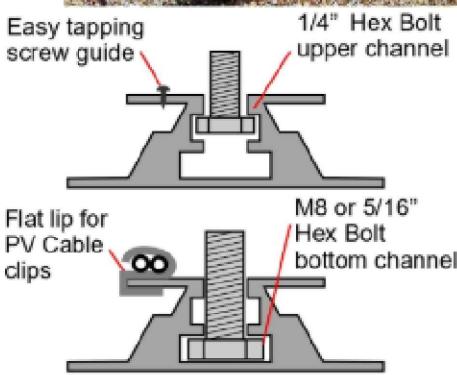
Dual bolt design: M8 or 5/16" for L-Foot & 1/4" for EMC



ICC ESR 3575

Call Now for more details
858-935-6064

 Roof Tech
Smarter PV mounting solutions from top of roof to bottom line*
www.roof-tech.us info@roof-tech.us



10 ATTACHMENT DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

Rapid shutdown is built-in

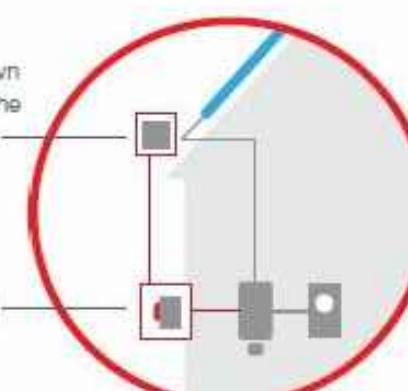
The 2014 edition of the National Electrical Code (NEC 2014) added new rapid shutdown requirements for PV systems installed on buildings. Enphase Microinverters fully meet rapid shutdown requirements in the new code without the need to install any additional electrical equipment.

What's new in NEC 2014?
NEC 2014, Section 690.12 applies to PV conductors over 10 feet from the PV array and requires that the conductors power down to 30 volts and 240 volt-amperes within 10 seconds of rapid shutdown initiation.

String inverters require workarounds for rapid shutdown

Work around.

Specialized Rapid Shutdown electrical box installed on the roof within 10 feet of array.

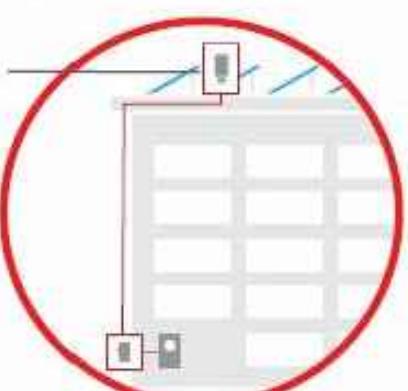


Work around.

Shutoff switch that is easily accessible to first responders on the ground.

Work around.

String inverter installed on roof, a hostile environment that string inverters are not built to live in.



Work around.

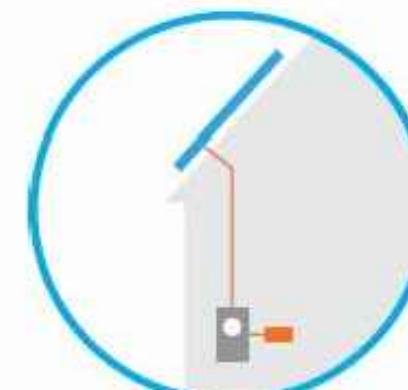
Extra conduit in installation.

Residential String Inverter

Commercial String Inverter

Enphase comes standard with rapid shutdown capability

All Enphase microinverters, even those that were previously installed, inherently meet rapid shutdown requirements, no additional equipment or workarounds needed



Residential Microinverter

Enphase microinverters can safely shut down automatically, leaving only low-voltage DC electricity isolated to the PV module



Commercial Microinverter

To learn more, visit enphase.com

[e] **enphase®**
ENERGY

11

RSD DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff

Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-21

Applicant: Brenda Parker

Owner: Geofrey Mendes

Location: 112 S. Parkview

ARB Request: The applicant is seeking architectural review and approval to allow 2 ½ story addition to the rear and a 2 story addition to the side of the 2 1/2 story principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(ARB) Architectural Review Board**
Application - Major Review (for
Additions to Principal and Accessory
structures and New Principal
Structures that DO NOT REQUIRE A
VARIANCE. (You must proceed to the
BZAP application if you wish to
request a variance from the Zoning
Code) ARB meets on the 2nd
Thursday of the month (except
December) applications are due 4
weeks prior.

Applicant

Brenda Parker
 614-586-5514
 brenda.parker@cbusarch.com

Location

112 S PARKVIEW AV
 Bexley, OH 43209

ARB-19-21

Status: Active

Submitted: Dec 04, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

2-1/2 story addition at rear & 2 story addition at side.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

Brenda Parker

Agent Address

930 Northwest Blvd

Agent Email

brenda.parker@cbusarch.com

Agent Phone

614-586-5514

Property Owner Name

Godfrey Mendes

Property Owner phone

614-301-9453

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

400000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects	Review Type
--	--
Appeal of ARB decision to BZAP	Appeal of BZAP decision to City Council
--	--

B: Project Worksheet: Property Information

Occupancy Type	Zoning District
Residential	R-3
Use Classification	
R-3 (25% Building and 50% Overall)	

B: Project Worksheet: Lot Info

Width (ft)	Depth (ft)
100	250
Total Area (SF)	
25000	

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)	Proposed Addition (SF)
2148	218
Removing (SF)	Type of Structure
0	Two-story addition
Proposed New Primary Structure or Residence (SF)	Total Square Footage
1876	5899

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)	Proposed Addition (SF)
678	0
New Structure Type	Ridge Height
Not applicable	Not applicable
Proposed New Structure (SF)	Is there a 2nd Floor
0	No
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)
678	11908
Total building lot coverage (% of lot)	Is this replacing an existing garage and/or accessory structure?
47.6	No

B: Project Worksheet: Hardscape

Existing Driveway (SF)	Existing Patio (SF)
2003	1358
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
362	136
Total Hardscape (SF)	
8559	

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
11908	12500

C.1 Architectural Review Worksheet: Roofing

Roofing	Structure
true	House or Principal Structure
Existing Roof Type	New Roof Type
Slate	Std. 3-tab Asphalt Shingle
New Single Manufacturer	New Roof Style and Color
Certainteed	Nickel Gray

C.1 Architectural Review Worksheet: Windows

Windows	Structure
true	House or Principal Structure
Existing Window Type	Existing Window Materials
Double Hung	Wood
New Window Manufacturer	New Window Style/Mat./Color
Marvin	Wood-Ultrex

C.1 Architectural Review Worksheet: Doors

Doors	Structure
true	House or Principal Structure
Existing Entrance Door Type	Existing Garage Door Type
Wood	Wood
Door Finish	Proposed Door Type
Painted	Fiberglass
Proposed Door Style	Proposed Door Color

3/4-light

White

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim	Existing Door Trim
true	Cedar
Proposed New Door Trim	Existing Window Trim
Boral - 1x4 jambs, 1x6 head	Wood
Proposed New Window Trim	Trim Color(s)
Boral - 1x4 jambs, 1x6 head, historic sill, 1x4 apron	White

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
true	Brick
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
Brick	Other
Other Proposed Finishes	Proposed Finishes Manufacturer, Style, Color
HardiLap cement board siding	HardiLap, smooth, 5" exposure

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy) **Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above**

--

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (4)

- pdf Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**
Dec 04, 2019
- pdf Photographs (required)**
Dec 04, 2019
- pdf Site Plan**
Dec 04, 2019
- pdf Permission for Agent to represent owner.**
Dec 04, 2019

Timeline

Payment

Status: Paid December 5th 2019, 4:01 pm

Zoning Officer

Status: Completed December 6th 2019, 4:28 pm

Assignee: Kathy Rose

Kathy Rose December 6th 2019, 4:28:26 pm

Jordan: January 9th ARB envelopes

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

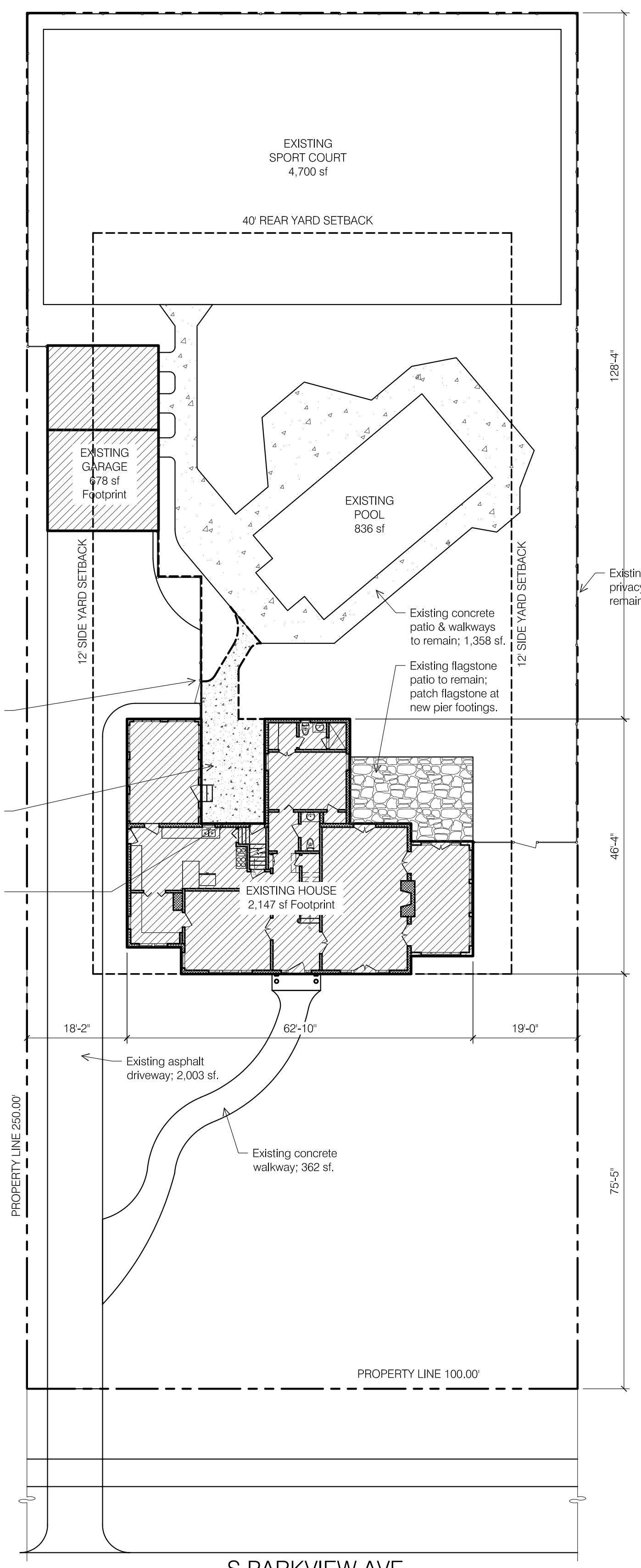
Status: In Progress

Tree Commission

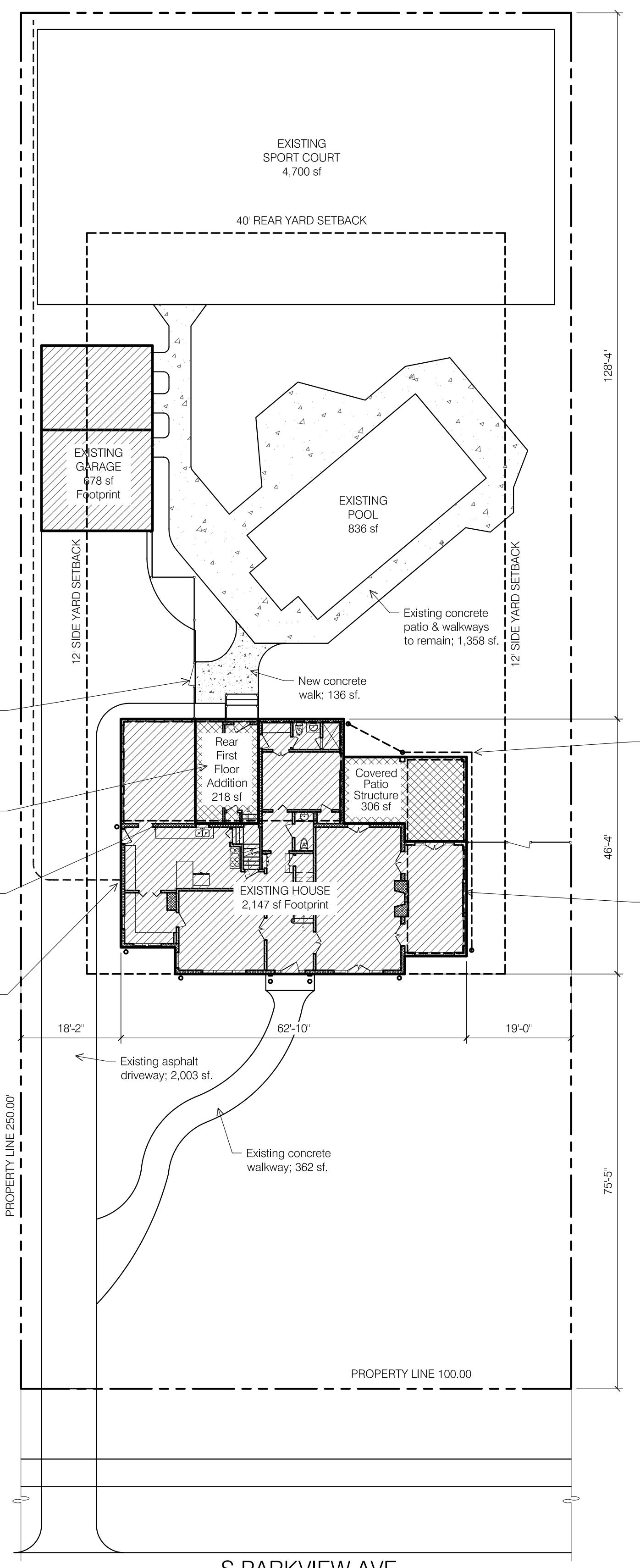
Status: In Progress

Arborist

Status: In Progress



1 OVERALL SITE PLAN - DEMO
SCALE: 1/16" = 1'-0"



2 OVERALL SITE PLAN - NEW WORK
SCALE: 1/16" = 1'-0"

GENERAL INFORMATION

Address: 112 S Parkview Avenue
Bexley, Ohio 43209
Parcel: 020-004188-00

Scope of Project:
The project consists of the construction of a second floor addition above an existing 4-Season porch at the south side of the house. The addition is to extend over an existing patio to create a covered patio space. The south addition will allow for a master suite at the second floor.

The project also consists of the construction of a new first floor addition (over crawl space) between two existing additions at the rear of the house. The first floor addition will allow for a larger family room and a mudroom. An existing second floor bay window is to be removed to construct a second floor addition utilizing the wall structures of the existing rear additions. The second floor addition is to include two bedrooms. A third floor is to be included in the rear addition to be utilized as a lounge space.

Existing First Floor SF: 2,148 sf
First Floor Area to be Removed: 0 sf
First Floor Addition SF: 218 sf
Total First Floor SF: 2,366 sf

Existing Second Floor SF: 1,434 sf
Second Floor Area to be Removed: 67 sf
Second Floor South Addition SF: 398 sf
Second Floor East Addition SF: 770 sf
Total Second Floor SF: 2,669 sf

Existing Third Floor SF: 508 sf
Third Floor Area to be Removed: 0 sf
Third Floor Addition SF: 490 sf
Total Third Floor SF: 998 sf

Existing House SF: 4,090 sf
Total Addition SF: 1,876 sf
House SF w/ Additions: 5,899 sf

First Floor Covered Patio SF: 306 sf
Second Floor Balcony SF: 128 sf

ZONING: R-3 Medium Density

Number of Floors	Actual	Zoning Reqt
Existing:	2-1/2 (31'-10" htg)	1 to 2.5 fl (40)
Proposed:	2-1/2 (31'-10" htg)	Meets Zoning
Lot Area & Lot Width	Actual	Zoning Reqt
Lot Area:	25,000 sf	14,400 sf
Lot Width:	100.00'	90'
Lot Depth:	250.00'	160'
Building Lot Coverage	Actual	Zoning Reqt
Existing House	2,147 sf	3,600 sf (25%)
Existing Garage	678 sf	
Rear Addition	218 sf	
Side Addition	306 sf	
Total Building Coverage	3,349 sf (13.3%)	Meets Zoning
Total Lot Coverage	Actual	Zoning Reqt
Total Building Coverage	3,349 sf	12,500 sf (50%)
Driveway	2,003 sf	
Front Walk	362 sf	
Pool Patio & Walks	1,358 sf	
Sport Court	4,700 sf	
New walkway to pool	136 sf	
Total Lot Coverage	11,908 sf (47.6%)	Meets Zoning
New Addition Setbacks	Actual	Zoning Reqt
Side Proposed South:	19'-0"	12'-0"
Side Proposed North:	18'-2"	12'-0"
Rear Yard Proposed:	128'-4"	40'-0"

SHEET INDEX

A1.0 Site Plan & General Info
A2.1 Basement & First Floor Plans
A2.2 Second & Third Floor Plans
A2.3 Roof Plans
A3.1 Exterior Elevations
A3.2 Exterior Elevations

DESIGN CRITERIA

Design Criteria:
Wind Speed = 115 mph
Seismic Category = A
Weathering = Severe
Frost Line Depth = 36"
Termites = Moderate to Heavy
Ice Barrier Underlayment = Yes, Required
Floor Live Load = 40 psf
Snow Load Roof = 20 psf
Foundation Concrete Compressive Strength = 2,500
Slab Concrete Compressive Strength = 3,000: air-entrained 5%-7%

Bexley, Ohio 43209

Owner:
Mendes Residence
112 S Parkview Avenue
Bexley, Ohio 43209

Architect:
Brenda Parker
930 Northwest Blvd.
Columbus, Ohio 43212
t: 614.586.5514

The seal is circular with a double-lined outer border. The words "STATE OF OHIO" are at the top, and "REGISTERED ARCHITECT" are at the bottom. The center contains the name "BRENDA S. PARKER" and the registration number "0213127". There are two five-pointed stars on the left and right sides of the center text.

BASEMENT & FIRST FLOOR PLANS

heet number

A2 1

WALL LEGEND:

- Demo existing wall or component as noted.
- Existing masonry wall.**
- New 8" CMU foundation wall.**
- Existing 2x4 wood stud wall @ 16" o.c.**
- New Exterior walls: 2x6 wood stud @ 16" o.c.; fill cavity with R19 cellulose insulation; 1/2" gypsum wallboard at interior.**
- New Interior walls: 2x4 wood studs @ 16" o.c. 1/2" GWB at interior.**

BASEMENT DEMO PLAN

G5

SCALE: 3/16" = 1'-0"

CU

Relocate condensing unit to south side of house.

SLAB ON GRADE

Demo window for new crawl space access.

Electric Meter

Relocate electric meter to north side of house using existing underground conduit.

D W

Electric Panel

Electric Panel

Existing 2x10 @ 16" o.c.

HWH

UP

Sanitary

Furnace

Existing 2x10 @ 16" o.c.

Existing 2x10 @ 16" o.c.

Existing 2x10 @ 16" o.c.

Water Entrance

CRAWL SPACE

KITCHEN

EATING

CRAWL SPACE

LAUNDRY

STORAGE

SLAB ON GRADE

PWDR

GAMING

LOUNGE

N

M

L

K

J

H

This architectural floor plan illustrates the layout of a house with various rooms and their dimensions. The plan includes the following rooms and their dimensions:

- FAMILY:** 13'-6" wide by 19'-0" deep.
- KITCHEN:** 11'-6" wide by 13'-0" deep.
- DINING:** 11'-6" wide by 13'-0" deep.
- FOYER:** 11'-6" wide by 13'-0" deep.
- LIVING:** 15'-6" wide by 20'-10" deep.
- 4-SEASON:** 11'-3" wide by 20'-10" deep.
- BED1:** 15'-6" wide by 11'-3" deep.
- PWDR:** 11'-3" wide by 11'-3" deep.
- Bath1:** 11'-3" wide by 11'-3" deep.
- Clos1:** 11'-3" wide by 11'-3" deep.
- EXISTING PAVER PATIO:** 22'-4" wide by 15'-4" deep.

Key dimensions and features include:

- Overall width: 13'-6" + 11'-6" + 15'-6" = 40'-8".
- Overall depth: 19'-0" + 13'-0" + 13'-0" + 13'-0" + 11'-3" + 11'-3" + 11'-3" = 66'-0".
- Rooms are separated by solid lines, while walls to be demolished are indicated by dashed lines.
- Demolition instructions are provided for the exterior walls:

 - For the west-facing wall of the FAMILY room: "Demo existing flat roof. Remove & salvage all exterior mouldings, windows, & door for reinstallation. Demo East & South walls." and "Demo window; prep for wall infill."
 - For the south-facing wall of the FAMILY room: "Demo window for new opening to family room."
 - For the exterior wall of the 4-SEASON room: "Demo existing flat roof structure at 4-Season; install new headers & prep for new floor framing."

- Stairs are indicated with "UP" and "DOWN" arrows.
- Exterior doors are marked with arrows pointing outwards.
- Interior doorways are marked with arrows pointing into the rooms.

Architectural Floor Plan with Structural Details and Construction Notes:

Rooms and Areas: FAMILY, DINING, FOYER, LIVING, REC ROOM, BED1, BED2, BED3, Clos1, Bath1, PWDR, MUD, LANDING.

Dimensions: Overall width 19'-0", overall depth 20'-10".

Structural and Material Notes:

- Joists:** (2) 9-1/4" LVL joists.
- Posts:** 6x6 treated post w/ ABU66Z post base & LPC6Z post cap, typ of (2).
- Bracing:** 2x4 furring wall to support new floor joists.
- Walls:** (2) 9-1/4" LVL, Salv (2) 9-1/4" LVL, Salv (2) 9-1/4" LVL.
- Roof:** Reinstall closet built-in in new location.
- Windows:** New 2x10 @ 16" o.c.
- Doors:** New 2x10 @ 16" o.c.
- Stairs:** Drywall opening where window & door were removed. New stair down to basement.
- Plumbing:** 3" dia std stl pipe col. Load=8k.
- Electrical:** Confirm existing rafters. Replace w/ 2x10@12" o.c. if required.
- Roofing:** Double angle header; 4"x4"x3/8".
- Foundation:** 30x80 pocket, 2x2 furring over brick.
- Exterior:** 2x10 Treated 16" o.c. Rip joists to slope. Min 7-1/4" depth.
- Patios:** 21'-8" ADDITION, 15'-4" ADDITION.

Annotations: A16/A3.1, A13/A3.2.

Bexley, Ohio 43209

Owner:
Mendes Residence
112 S Parkview Avenue
Bexley, Ohio 43209

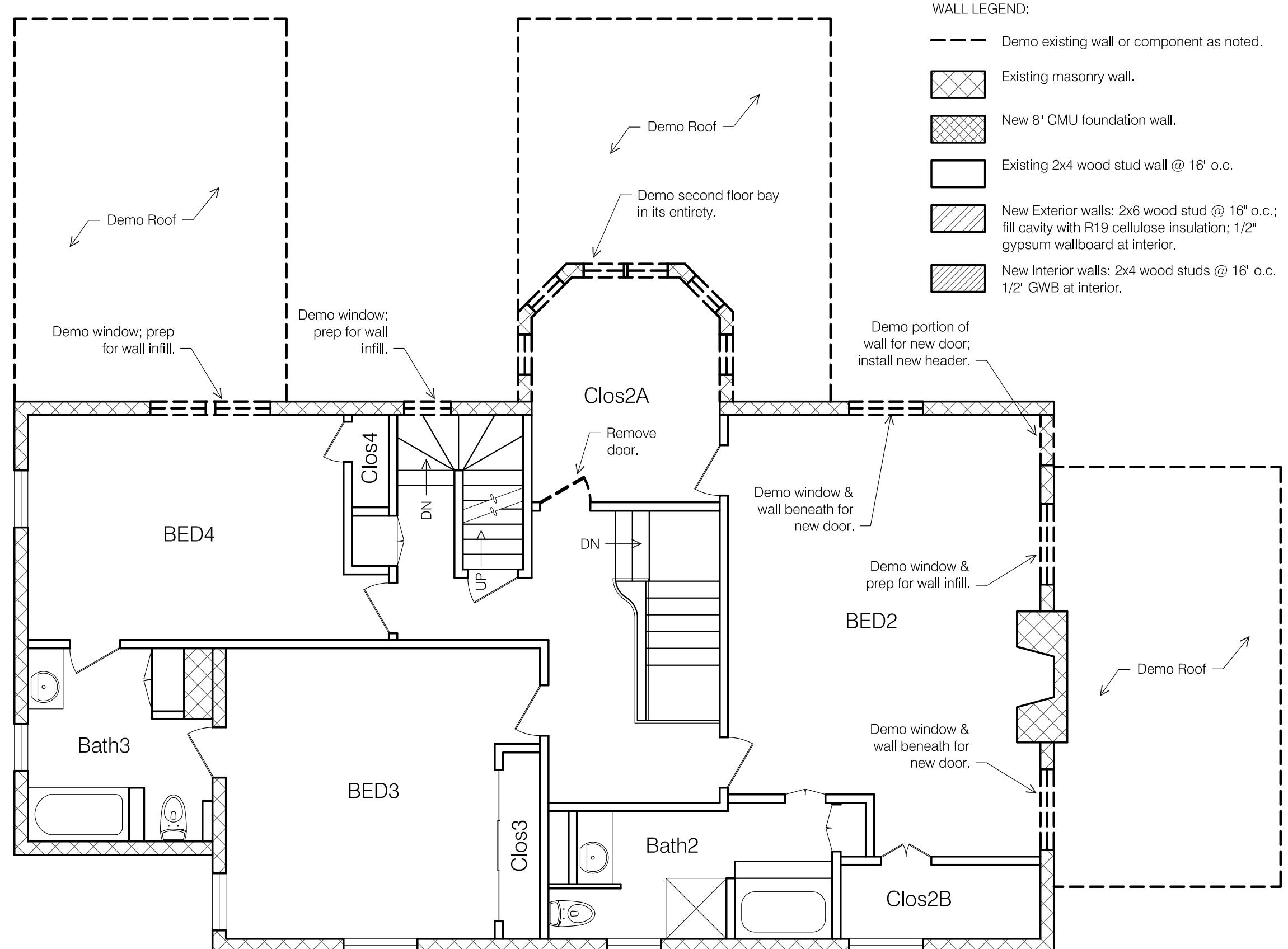
Architect:
Brenda Parker
930 Northwest Blvd.
Columbus, Ohio 43212
t: 614.586.5514

The seal is circular with a double-lined outer border. The top half of the inner circle contains the text "STATE OF OHIO" and the bottom half contains "REGISTERED ARCHITECT". The bottom half is also divided into four quadrants by a cross. The center of the seal contains the name "BRENDA S. PARKER" and the registration number "0213127".

SECOND & THIRD FLOOR PLANS

heet number

A2.2

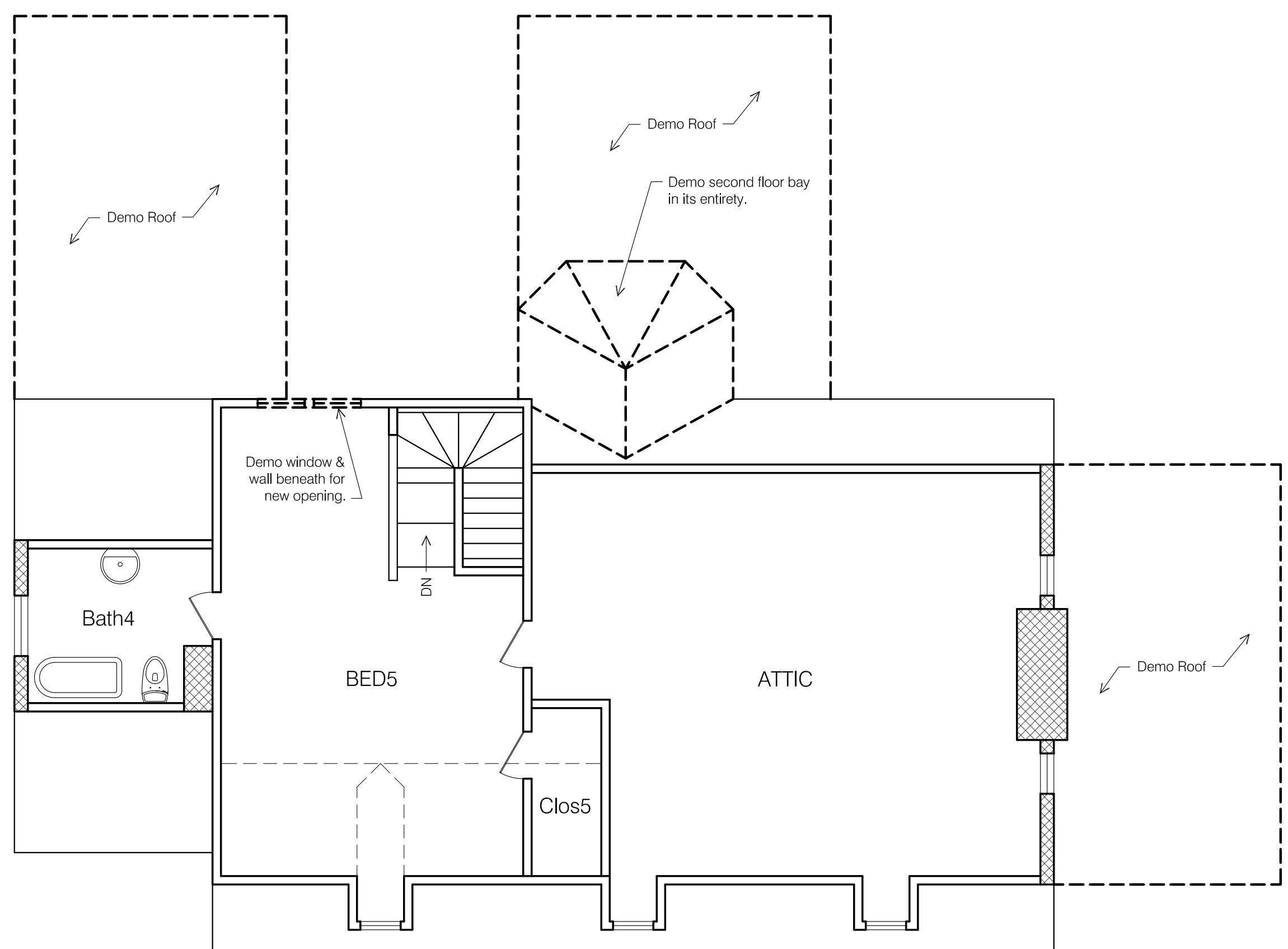


G5 SECOND FLOOR DEMO PLAN



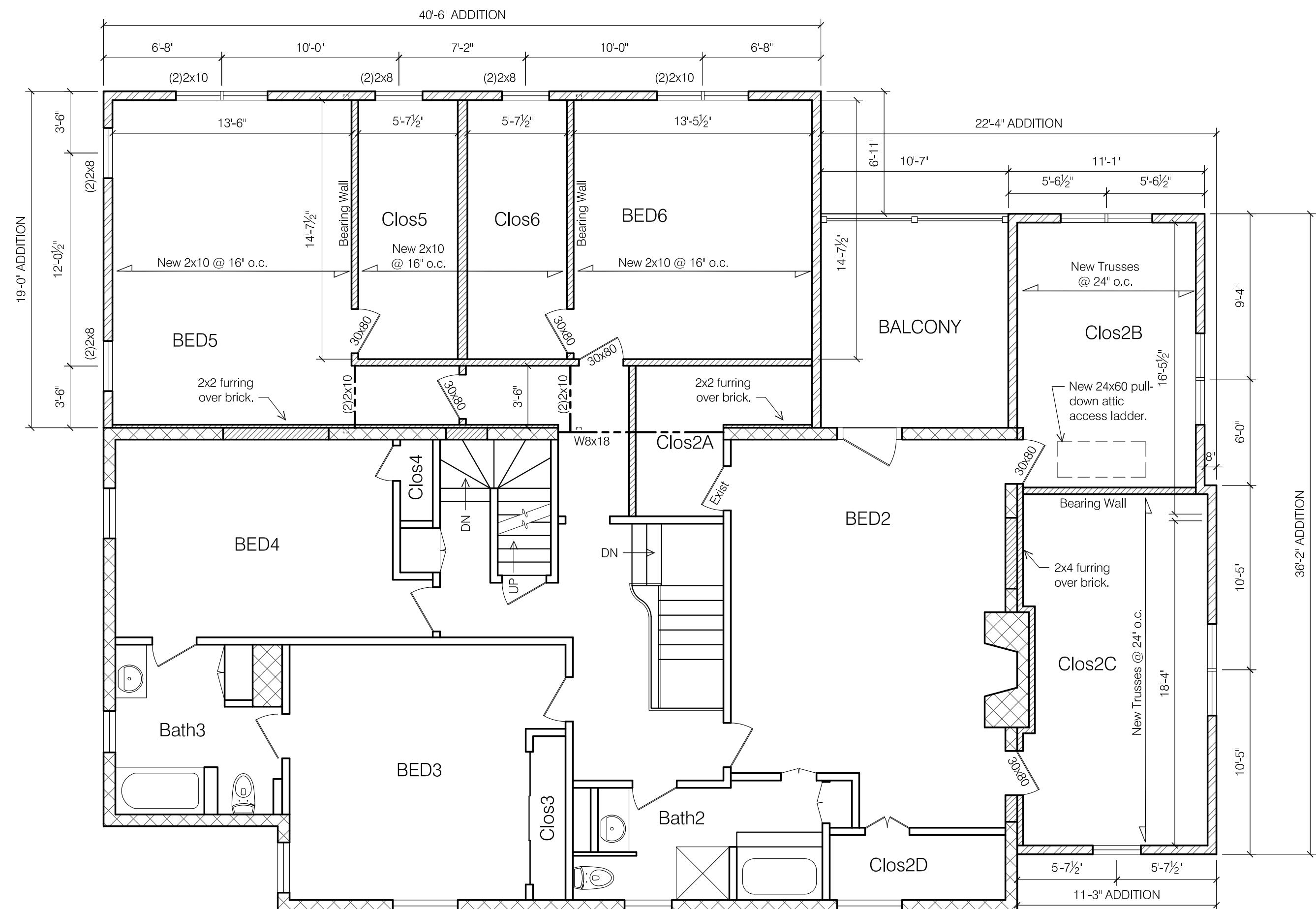
SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"



A5 THIRD FLOOR DEMO PL SCALE:

SCALE: 3/16" = 1'-0"

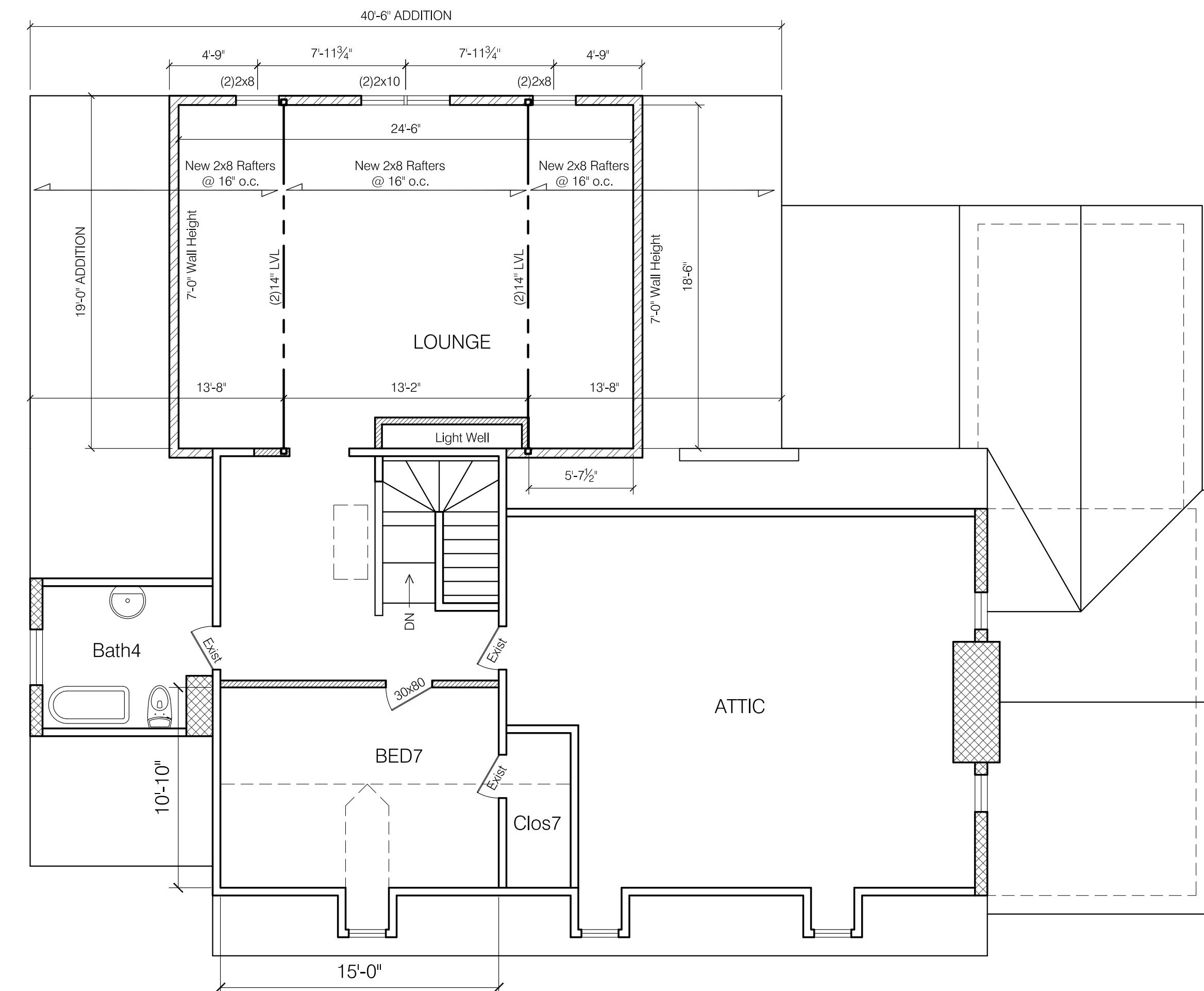


G14 SECOND FLOOR NEW WORK PLAN



SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"



A14 THIRD FLOOR NEW WORK PLAN
SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

A compass rose with a horizontal line and a vertical line intersecting at the center, with the letter 'N' positioned to the left of the horizontal line.

A2.2



L3 ALTERNATE EAST ELEVATION SCALE: 3/16" =

SCALE: 3/16" = 1'-0"

CODED NOTES		
① Existing brick to remain.	⑦ Fascia at Gable: Azek 1x8 + Azek 5" crown. Soffit: Exterior grade 3/8" plywood.	⑬ Panelled Siding: Hardiplan with Boral 5/4 x 2 trim & Azek Scotia 3/4" x 3/4" panel mould.
② Existing slate roofing to remain.	⑧ Belt Trim at Side Addition: Boral 5/4 x 8 with Azek 5" crown (verify match existing).	⑭ Balcony: Decking: Timbertech Legacy. Ceiling: Paulownia bead board (painted). Guardrail: Timbertech Radiance Rail.
③ New HardiLap siding (5" exposure) w/ the following exterior trim: Corner Trim: Boral 5/4 x 4. Casing: Boral 5/4 x 4 at jamb, Boral 5/4 x 6 at head, Azek historic sill, & Boral 5/4 x 4 apron.	⑨ Covered Patio Beams: Boral 3/4 x 12 with Azek 53" crown.	⑮ Landing & Steps: Decking: Timbertech Legacy. Risers: Azek PVC 1x8. Guardrail: Timbertech Radiance Rail.
④ Fascia at Eave: Azek 1x8 (verify, match existing) on 2x6 subfascia. Soffit: Exterior grade 3/8" plywood.	⑩ Porch Columns: HB&G Permacast 10" fiberglass Square Recessed panel column with Colonial cap & base around 6x6 treated post.	⑯ Mudroom Overhang (see detail): Roofing: EPDM membrane. Beams: (2)2x6 wrapped w/ Boral 3/4 x 8. Aluminum ogee gutter on Boral 3/4 x 6. Crown: Azek 4". Brackets: Cedar 4x4.
⑤ Belt Trim at Rear Addition: Boral 5/4 x 8 with Azek Water Table cap.	⑪ New asphalt shingle roofing; Certainteed 3-tab, Slate Gray.	
⑥ Thin brick (match existing color & texture) on concrete masonry unit foundation wall.	⑫ 5" Aluminum ogee gutter & 3" downspouts. Pipe downspouts to street in underground PVC.	
GENERAL NOTES		
New siding, trim, & doors are to be primed & painted with (2) coats high-quality acrylic paint. Existing trim, windows, & doors are to be cleaned and painted with (2) coats of high-quality acrylic paint.		

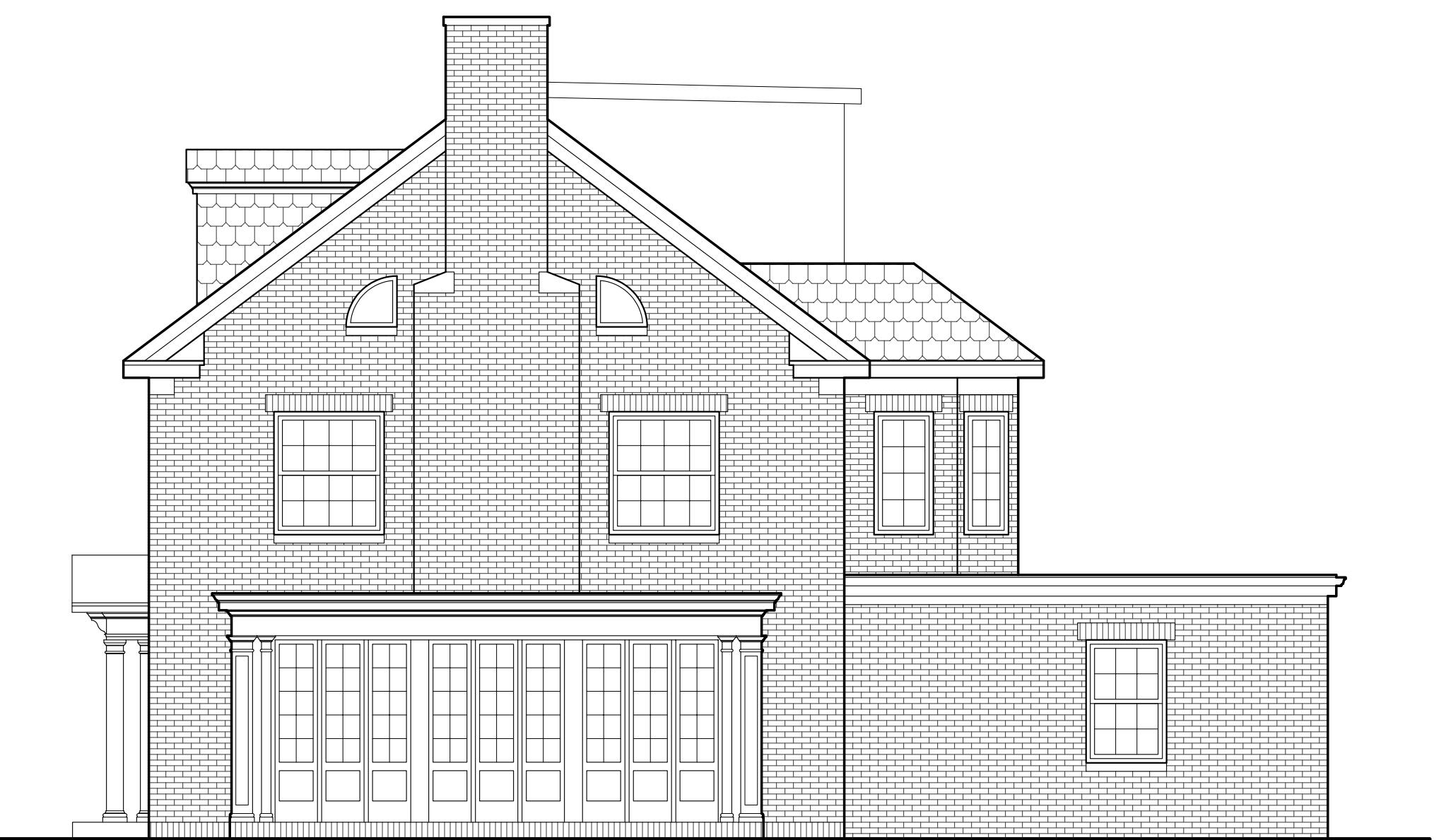
GENERAL NOTES

New siding, trim, & doors are to be primed & painted with (2) coats high-quality acrylic paint.
Existing trim, windows, & doors are to be cleaned and painted with (2) coats of high-quality acrylic paint.



E6 EAST ELEVATION - EXISTING

SCALE: 3/16" = 1'-0"



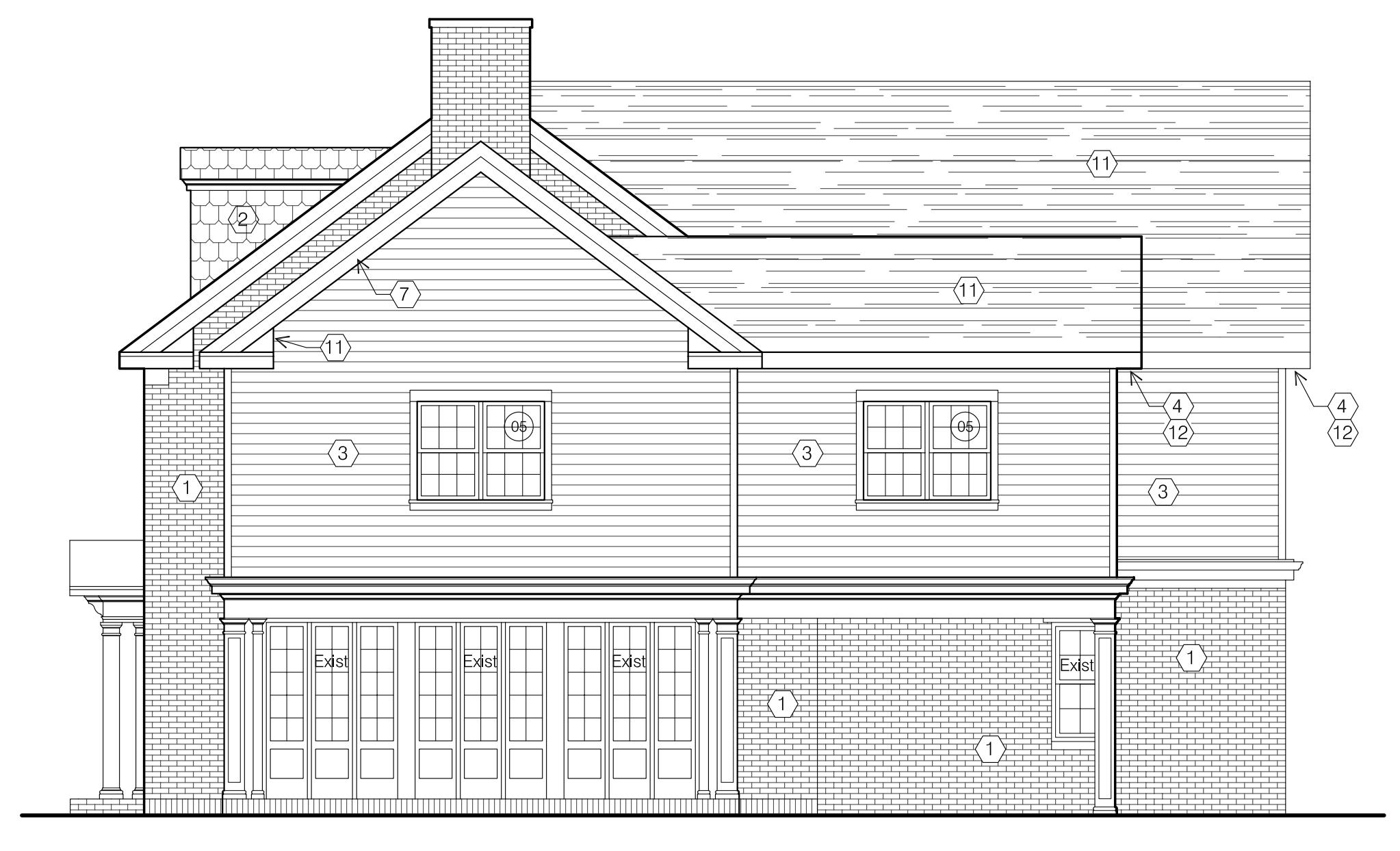
E13 SOUTH ELEVATION - EXISTING

SCALE: 3/16" = 1'



A6 EAST ELEVATION - NEW WO

SCALE: 3/16" = 1'-0"



A13 SOUTH ELEVATION - NEW WORK

SCALE: 3/16" = 1'

EXTERIOR ELEVATIONS

A3.2



112











OHIO
MENDES 5
FRANKLIN 01-20



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-22

Applicant: Urbanorder Architecture

Owner: Daniel Matthew Massey & Talley Wetlaufer

Location: 261 North Drexel

ARB Request: The applicant is seeking architectural review and approval to allow an enclosed structure between the principal structure and the 2-story Garage to be replaced with a new modified enclosed living space.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(ARB) Architectural Review Board**
Application - Major Review (for
Additions to Principal and Accessory
structures and New Principal
Structures that DO NOT REQUIRE A
VARIANCE. (You must proceed to the
BZAP application if you wish to
request a variance from the Zoning
Code) ARB meets on the 2nd
Thursday of the month (except
December) applications are due 4
weeks prior.

Applicant

Steve Hurt
 614-299-9028
 info@urbanorder.com

Location

261 DREXEL AV
 Bexley, OH 43209

ARB-19-22

Status: Active

Submitted: Dec 05, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Rebuild a one story frame connector between the original house and carriage house. Add a new second floor window to north elevation and a new french door to south elevation. All other work is repair to match existing.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

urbanorder architecture

Agent Address

797 Summit Street

Agent Email

info@urbanorder.com

Agent Phone

614-299-9028

Property Owner Name

Daniel Matthew Massey & Talley Wetzlaufer

Property Owner phone

--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

200000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects	Review Type
--	--
Appeal of ARB decision to BZAP	Appeal of BZAP decision to City Council
--	--

B: Project Worksheet: Property Information

Occupancy Type	Zoning District
Residential	R-2
Use Classification	
R-1 (25% Building and 40% Overall)	

B: Project Worksheet: Lot Info

Width (ft)	Depth (ft)
183	310
Total Area (SF)	
56829	

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)	Proposed Addition (SF)
3243	243
Removing (SF)	Type of Structure
285	frame
Proposed New Primary Structure or Residence (SF)	Total Square Footage
--	5837

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)	Proposed Addition (SF)
--	--
New Structure Type	Ridge Height
--	--
Proposed New Structure (SF)	Is there a 2nd Floor
--	--
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)
--	--
Total building lot coverage (% of lot)	Is this replacing an existing garage and/or accessory structure?
--	--

B: Project Worksheet: Hardscape

Existing Driveway (SF)	Existing Patio (SF)
--	--
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
--	--
Total Hardscape (SF)	
--	

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
3188	6

C.1 Architectural Review Worksheet: Roofing

Roofing	Structure
true	House & Garage
Existing Roof Type	New Roof Type
EPDM Rubber	Metal
New Single Manufacturer	New Roof Style and Color
DMI	grey standing seam

C.1 Architectural Review Worksheet: Windows

Windows	Structure
true	House or Principal Structure
Existing Window Type	Existing Window Materials
Double Hung	Wood
New Window Manufacturer	New Window Style/Mat./Color
Marvin	Bronze Alum Clad Wood

C.1 Architectural Review Worksheet: Doors

Doors	Structure
true	House & Garage
Existing Entrance Door Type	Existing Garage Door Type
Wood	Wood
Door Finish	Proposed Door Type
Painted	Alum Clad Wood
Proposed Door Style	Proposed Door Color

Full Lite

Bronze

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim	Existing Door Trim
true	Pine
Proposed New Door Trim	Existing Window Trim
Alum Clad Wood	Wood
Proposed New Window Trim	Trim Color(s)
Alum clad wood	bronze

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
true	Stucco
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
Tan Stucco	Stucco

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy) **Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above**

--

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (4)



Photographs (required)

Dec 05, 2019

pdf Architectural Plans which include Exterior Elevations and floor plans of existing and proposed

Dec 05, 2019

pdf Site Plan

Dec 05, 2019

pdf Permission for Agent to represent owner.

Dec 05, 2019

Timeline

Zoning Officer

Status: Completed December 6th 2019, 4:07 pm

Assignee: Kathy Rose

Kathy Rose December 6th 2019, 4:06:20 pm

Steve - We are very excited to see some TLC for this old Beauty!!!

Payment

Status: Paid December 10th 2019, 10:52 am

Steve Hurt December 5th 2019, 4:33:48 pm

Can we drop off a check when we drop off the hard copy of this application?

Jordan Cavallaro December 6th 2019, 9:01:59 am

Yes. Make check payable to City of Bexley.

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Kathy Rose December 6th 2019, 4:11:48 pm

Karen: This house has sat for sale for a long time. The new owner is starting to move forward on remodeling. I think the Board may want to have a conversation with any other ideas they may be kicking around. It was once discussed as a possible demo project, but it has way too much charm to see that happen. We are happy to see this needed repairs get started.

Kathy Rose December 17th 2019, 10:54:49 am

This will be placed on the January 9th, 2020 ARB Agenda

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

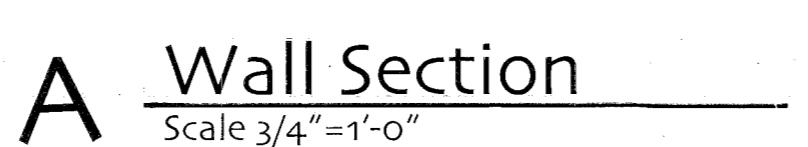
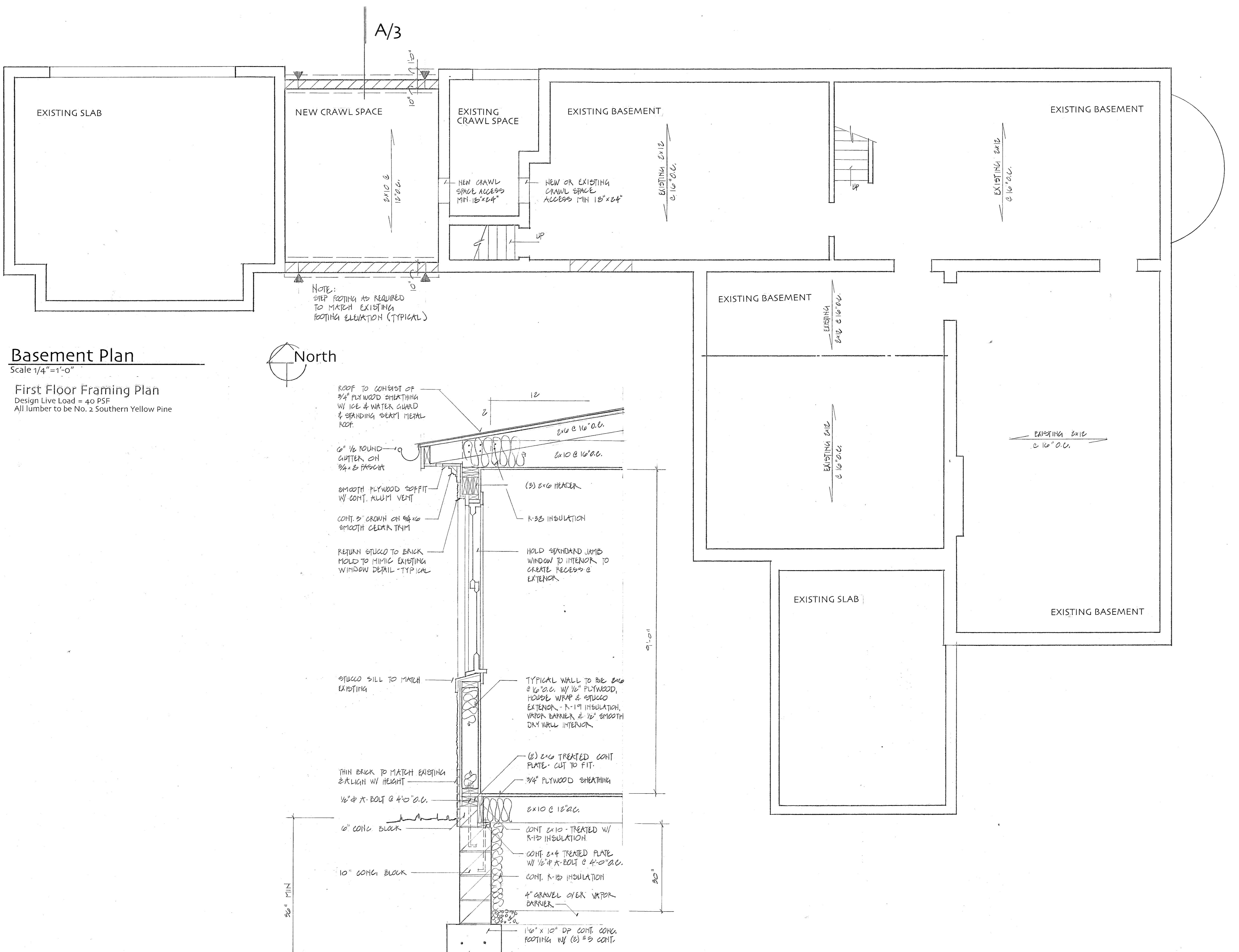
Tree Commission

Status: In Progress

Arborist

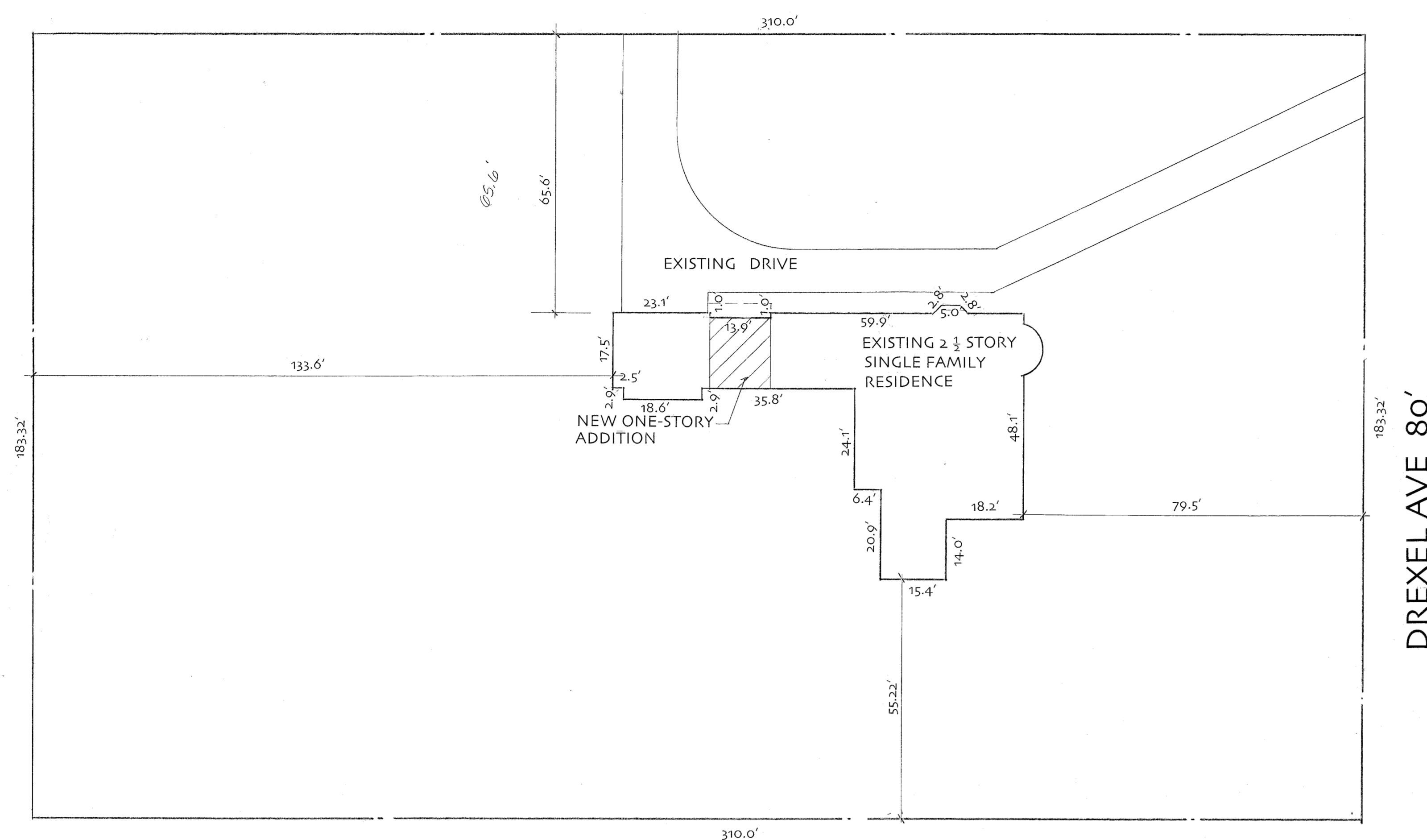
Status: In Progress





Addition & Alterations to:
261 North Drexel Avenue
The Massey-Wettlaufer Residence
Ohio
Bexley,

BOSTON AVE 80'



Site Plan

Scale 1" = 20'-0"



Project Information

The scope of this project involves the removal of an existing garage, adding a new one story addition, and interior alterations. The new addition will be within the footprint of the existing structure.

Zoning Information

Parcel Number	020-003016-00
Existing Zoning	R-2 Intermediate Density
Flood Zone	OUT
Use	Existing Single Family Dwelling
Proposed	No Change
Lot Size	56,829.2 SQ FT (183.32' x 310.0')
Lot Coverage	3,243 SQ FT (5.7%)
3,188 SQ FT (5.6%)	
Setbacks	
North	62.6'
South	55.22'
East	79.5'
West	133.6'
	65.6'
	No Change
	No Change
	No Change

General Notes

- A- The Contractor is to check and verify all dimensions and site conditions, and report any errors or omissions to the Architect prior to the start of construction. Use written dimensions, do not scale drawings, as distortion can occur through the printing process. The existing drawings are based on measurements taken on May 24, 2019.
- B- The Architect is responsible only for the items shown in the drawings. The contractor is to conform to all applicable codes, ordinances and approved construction practices for all items not detailed or otherwise indicated.
- C- The General Contractor is responsible for the design and installation of all plumbing, HVAC and Electrical systems. These systems shall be designed and installed in conformance with all applicable code requirements and acceptable engineering practices.
- D- The house is to be structurally sound when completed. It is the General Contractor's responsibility to provide proper bracing during construction and to provide a safe working environment during construction.
- E- The house is to be water tight when completed. It is the General Contractor's responsibility to provide all waterproofing, flashing, weep holes and caulking required to prevent moisture penetration.
- F- No work shall begin until the utility companies have located and marked all underground utilities and disconnected any utilities that may potentially be a hazard.

Window & Door Schedule

The following windows are based on Marvin units with primed wood interior and aluminum-clad exterior. See specific unit. Exterior color to be Bronze-verify with owners. Provide interior hardware as selected by owner and full screens on operable units. Verify all rough opening sizes and quantities with manufacturer. Verify egress requirements for applicable units. Head heights to match existing unless noted otherwise. Exterior casing and sill to match original. Return stucco to exterior casing to match original.

- A CUDH-NG 1622 4/4 SDL Clad double hung RO 1'-10 1/2" X 4'-4"
- B CUDH-NG 2024 4/4 SDL Clad double hung RO 2'-2 1/2" X 4'-8"

Exterior Doors

- C Clad Ultimate Swinging French Door 3070 15 lite SDL RO 3'-2 7/16" X 7'-2 1/2"

- D Clad Ultimate Swinging French Door 5070 15 lite SDL RO 5'-1 5/8" X 7'-2 1/2"

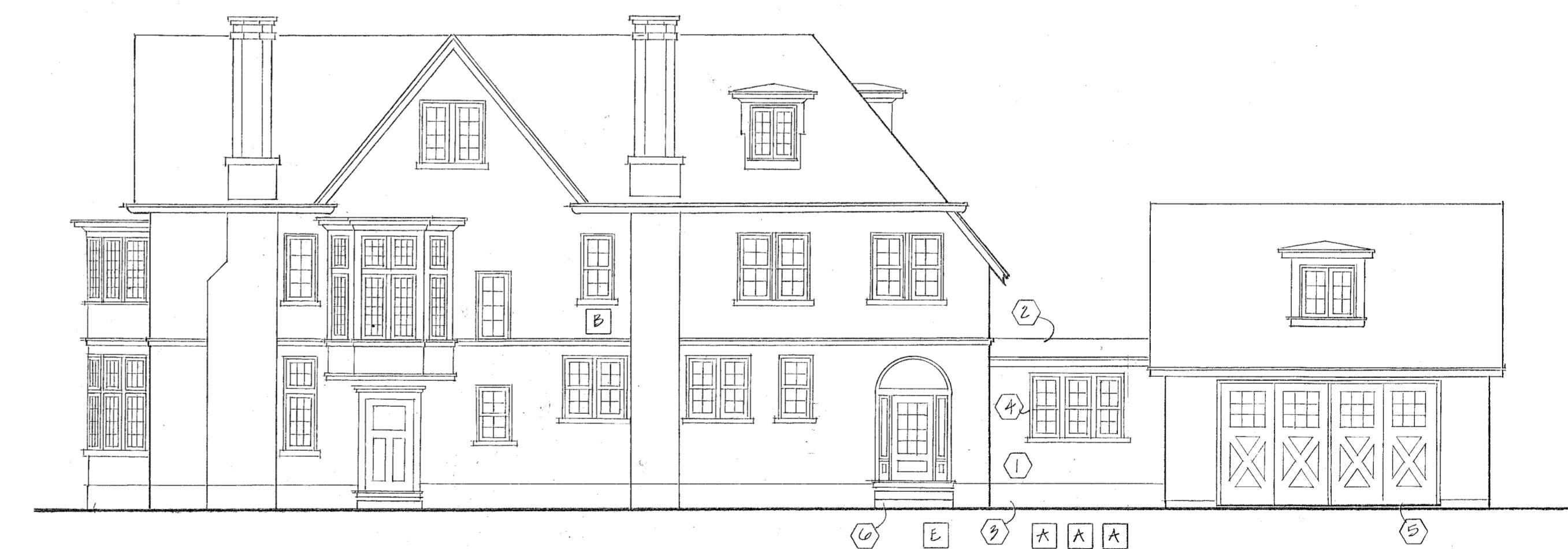
- E Custom 2'-8" X 6'-8" 3/4 12 lite with single panel below mahogany door. Provide sidelights with panels below and round topped transom to fit existing opening. Transom to be sash set in frame. Provide shop drawings to owner and architect for approval. Prime and paint.

DREXEL AVE 80'



Partial South Elevation

Scale 1/8"=1'-0"



North Elevation

Scale 1/8"=1'-0"

General Elevation Notes

- A Repair any missing or deteriorated roof flashing. Existing asphalt shingle roof to remain.
- B Repair existing soffits, fascia, and gutters as required to match existing.
- C Power wash and repair all existing stucco exterior to match existing. Prime and paint, verify colors with owners.
- D Repair existing windows as possible. New windows to be installed to match size, profile and function of existing windows. Refer to window and door schedule for new windows to be installed.
- E Scrape, prime and paint all existing exterior wood trim including existing windows and doors. Verify colors with owners.

Specific Elevation Notes

- ① Remove existing frame one story garage infill. Replace with new frame addition with stucco exterior to match existing.
- ② New roof to be 2/12 standing seam metal. New gutters to be half round to match existing. Downspout location to be verified with architect and owners and match existing.
- ③ Install thin brick at foundation to match and align with existing.
- ④ New window casing and sill to match existing. Return stucco to face of new casing.
- ⑤ Repair existing garage doors. Install automatic opener for swing out carriage doors.
- ⑥ Install new limestone steps at new doors. Tread depth to be 12", maximum riser to be 8".







