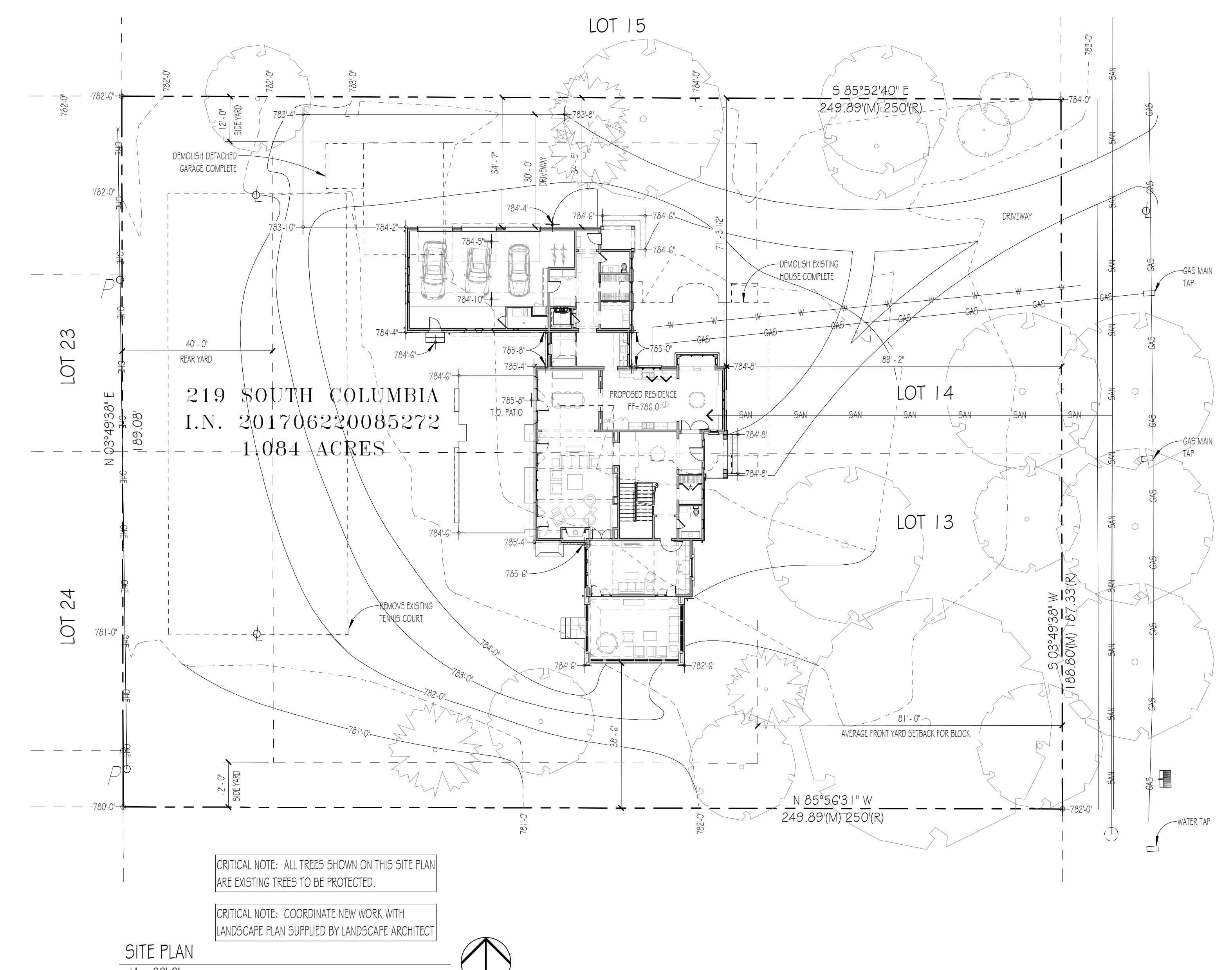
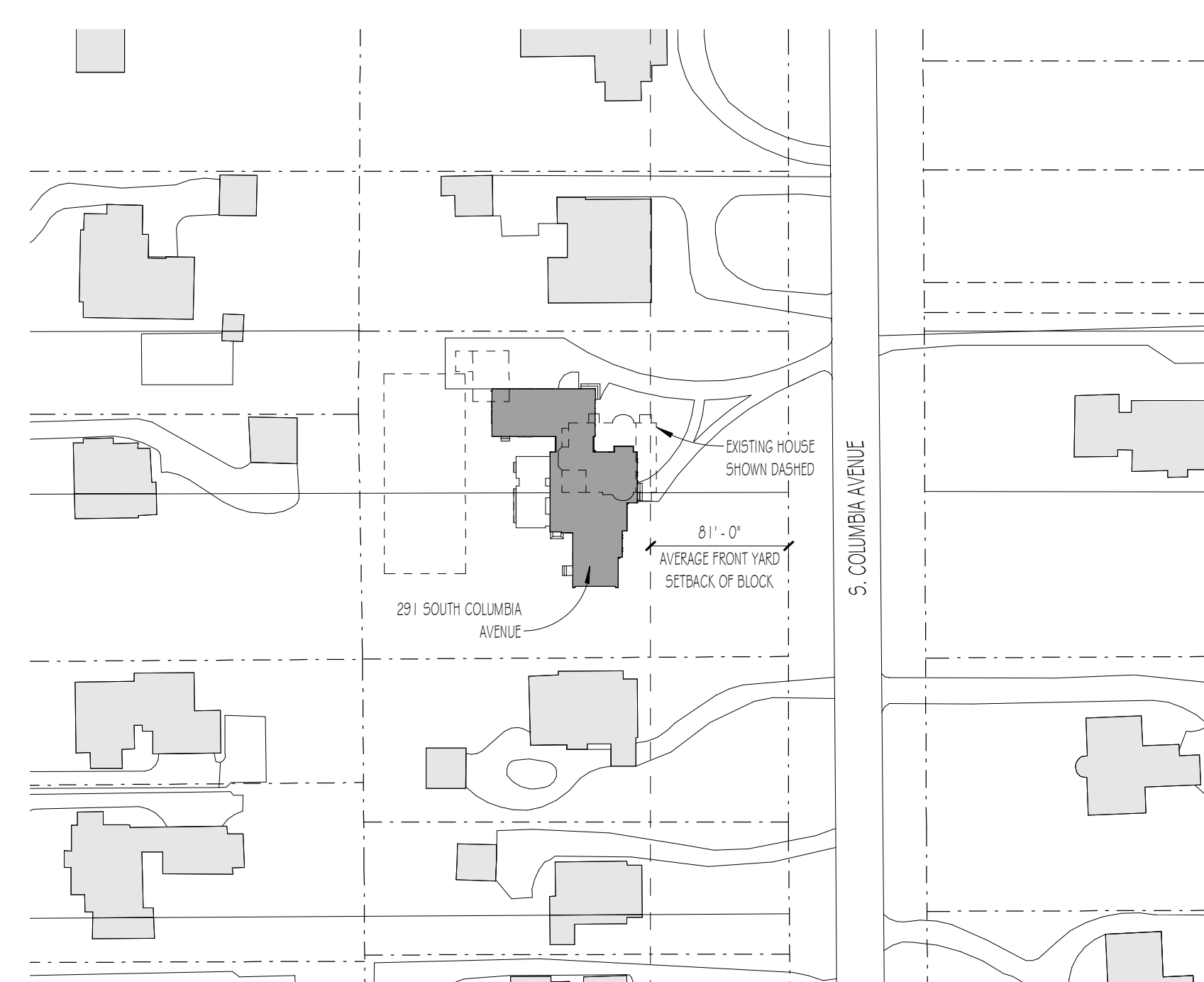


**GENERAL NOTES** NOT ALL NOTES MAY BE APPLICABLE TO THIS PROJECT

- 01.00 GENERAL REQUIREMENTS**
- A. DO NOT SCALE DRAWINGS
- B. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, EXISTING FIELD CONDITIONS AND/OR GENERALLY ACCEPTED CONSTRUCTION PRACTICES. NOTIFICATIONS SHALL BE MADE UPON DISCOVERY OF DISCREPANCY AND PRIOR TO PERFORMING ANY WORK IN QUESTION.
- C. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE & NATIONAL CODES AND REGULATIONS.
- D. CONTRACTOR SHALL DETERMINE PROCEDURE AND SEQUENCE AND PROVIDE WHETHER TEMPORARY BRACING, ETC. THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- E. EACH CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED BUILDING PERMITS AND SECURELY REQUIRE INSPECTIONS AND COORDINATE ALL TRADES.
- F. DEFINITIONS:
- FURNISH - TO PURCHASE AND/OR SUPPLY AND DELIVER TO SITE COMPLETE WITH RELATED ACCESSORIES AND TRANSPORT TO INSTALLER FOR INSTALLATION.
  - INSTALL - TO RECEIVE, CONSTRUCT, AND CONNECT COMPLETE FOR USE AND REGULATOR OPERATION AS APPLICABLE, INCLUDING RELATED ACCESSORIES.
  - PROVIDE - TO FURNISH, INSTALL, AND PAY ALL COSTS IN CONNECTION THEREWITH.
- G. ALL EXTERIOR FRAME WALL DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.
- 02.00 DEMOLITION**
- A. EACH CONTRACTOR TO DETERMINE SCOPE OF THEIR DEMOLITION WORK AND INCLUDE FOR SAME IN BID.
- 02.00 SITE CONSTRUCTION**
- F. FIELD VERIFY ALL NEW AND EXISTING SPOT ELEVATIONS AND DRAINAGE PATTERNS.
- F. FIELD VERIFY ALL EXISTING SITE DIMENSIONS PRIOR TO START OF CONSTRUCTION.
- G. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING STRUCTURE. 3" IN THE FIRST 6" MINIMUM.
- H. UNDERSTAND DOWNSPOFF PIPING TO BE MIN. 4" SCHEDULE 40 FOR INDIVIDUAL LEADS AND 6" SCHEDULE 40 AFTER CONVERGENCE OF INDIVIDUAL LEADS. COORDINATE WITH ARCHITECT. UNDERSTAND DOWN PIPING SHALL NOT BE STORM WATER IF AVAILABLE OR PIPED THROUGH COBBERLED CURB AT STREET IF STORM WATER DOES NOT EXIST. IF CURB IS CAN ONLY FIT A 4" PIPE, THEN PROVIDE INDIVIDUAL PIPING TO CURB AS DIRECTED BY ARCHITECT.
- 03.00 FOUNDATION AND CONCRETE**
- A. FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CALL 800-FREE BEFORE 10:00-362-2764 OHIO UTILITIES PROTECTION SERVICE.
- B. CONCRETE FLOORS: 3000 PSI AT 28 DAYS
- C. COUNT: ASTM C150 TYPE I/II
- D. STANDARD AGGREGATE: ASTM C33, FINE AGGREGATE NATURAL SAND, UNWASHED, COURSE AGGREGATE IN GENERAL NOT TO EXCEED 3/4" SIZE
- E. WATER: POTABLE
- F. AIR: BLENDED AGGREGATE: ASTM C630
- G. CURING COMPOUND: ASTM C930
- 04.00 UNIT MASONRY**
- A. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF EXTERIOR SHEATHING UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHING UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK.
- B. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURERS PRIOR TO FRAMING.
- C. ALL ROUGH OPENINGS WITH ROUGH CEILING HEIGHTS AND SHOULD BE FIELD VERIFIED AND MAY VARY.
- D. IF ANY DIMENSION VARIES BY MORE THAN 1/4", NOTIFY ARCHITECT PRIOR TO FRAMING.
- 5. STRUCTURAL LAMINER**
- A. GENERAL NOTES
1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLICIT THE CONTRACTORS RESPONSIBILITY TO DETERMINE SECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS, PARTS, AND ADJACENT TEMPORARY OR PERMANENT CONNECTIONS, DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEATHING, TEMPORARY BRACING, JOISTS, OR TRUSSING WHICH MAY BE NECESSARY. SUCH MATERIAL SHALL BELONG TO THE CONTRACTORS PROPERTY AFTER THE COMPLETION OF THE PROJECT.
  2. IT IS SOLICIT THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- 9. WINDOW FRAMING NOTES**
1. MATERIALS:
    - a. STRUCTURAL LAMBER: SPT 2 OR EQUAL.
    - b. FLOORING: GVL, STRUCTURAL I OR BETTER.
    - c. EXTERIOR GLUE: FOR ROOF AND WALLS, PANEL IDENTIFICATION INDEX 2400 - 1552 INCH MIN. WITH FLOORWOOD CURFS. FOR FLOORS, PANEL IDENTIFICATION INDEX 3316 - 2332 INCH.
  2. SPECIFICATIONS: UNLESS SPECIFICALLY SHOW OTHERWISE, DESIGN, FABRICATION AND DETAIL SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
    - a. NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LAMBER AND ITS FASTENINGS.
    - b. U.S. PRODUCT STANDARD PS-1 FOR SOFTWOOD FLOORWOOD CONSTRUCTION AND INSTAL.
    - c. OHIO RESIDENTIAL CODE 2013
  3. CONNECTIONS:
    - a. JOISTS TO BEAMS - 1x6 GALVANAIED STD JOIST HANGERS, UNLESS SHOWN OTHERWISE.
    - b. FLOORWOOD TO FLOOR JOISTS - GLEED AND WALLED - USE 80 GATES SHIMMER 4" 6 INCHES OC AT PANEL EDGES AND 12 INCHES OC AT INTERMEDIATE SUPPORTS. PROVIDE FLOORWOOD CURFS AT MID-SPAN OF FLOORWOOD BETWEEN SUPPORTS.
    - c. MISCELLANEOUS:
      - 1. USE SOLID BRIDGING OR CROSS BRIDGING AT 6'-0" OC MAX. FOR ALL JOISTS AND RAFTERS. USE SOLID BRIDGING AT JOIST AND RAFTER BEARING.
      - 2. IF IT IS ASSUMED THAT THE SHEATHING WILL PROVIDE LATERAL BRACING FOR STUDS, IF NO SHEATHING IS PROVIDED THEN SOLID BRIDGING MUST BE PROVIDED AT 4'-0" ON CENTER.
      - 3. USE DOUBLE JOISTS UNDER INTERIOR PARTITIONS, UNLESS SHOWN OTHERWISE.
      - 4. USE ONE FULL HEIGHT STUD AND ONE JACK STUD UNDER BEAM AND UNITS BEARING, UNLESS SHOWN OTHERWISE. INSE 3" OR MORE STUDS ARE SHOWN ON THE PLAN USE ONE AS JACK WITH REMAINDER AS FULL HEIGHT STUDS.
      - 5. APPLY CONTINUOUS BEAD OF GULF ON FLOOR JOISTS.
      - 6. IN AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE FLOORWOOD SHEATHING, PROVIDE 1 x 4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 2'-0" O.C.
      - 7. PROVIDE PREBRACING IN ALL LOCATIONS WHERE REQUIRED BY CODE.
  4. PREFABRICATED WOOD TRUSSES:
    - a. MATERIALS:
      - i. LAMBER: MINIMUM MATERIAL PROPERTIES: SOUTHERN PINE #2.
      - ii. METAL CONNECTOR PLATES: GALVANIZED SHEET STEEL ASTM A446-76 (188) GRADE A, COATING CLASS G40 PER ASTM A565-61. MANUFACTURER WITH HOLES, PLUGS, TEES, OR TRONCS UNIFORM SPACED AND FORMED.
- 06.000 EXTERIOR TRIM**
- A. SHELVING: ALL STANDARD SHELVES, UNLESS OTHERWISE NOTED, ARE TO BE 3/4" BRICK-FRACED FLOORWOOD WITH 1/4" FINISHING, MINIMUM MAXIMUM SPAN 8'-0", AND SPAN OVER 8'-0" TO HAVE (2) 3/4" BRICK-FRACED FLOORWOOD SHELVES. ANY ADJUSTABLE SHELVES TO USE WITH HOLELS AT 3" ON CENTER.
- 06.000 COUNTERTOPS**
- A. LOCATIONS OF ICE DAM PROTECTION: LEAKS - EXTEND FROM EDGE OF EAVE (TURNED DOWN OVER EAVES) TO A MINIMUM OF 2'-0" BEYOND LINE OF EXTERIOR WALL.
- 07.000 THERMAL AND MOISTURE PROTECTION**
- A. BATT INSULATION: ALL EXTERIOR 2x4 STUD WALLS TO HAVE R-13 BATT INSULATION. ALL EXTERIOR 2x6 STUD WALLS TO HAVE R-19 BATT INSULATION.
- 08.000 DOORS AND WINDOWS**
- A. ALL NEW WINDOWS ARE TO BE CLEANED INSIDE AND OUT PRIOR TO COMPLETION OF PROJECT.
- 09.000 FINISHES**
- A. PAINTING NOTES
1. ALL INTERIOR DRYPHALL AND WOODWORK AND ALL EXTERIOR WOODWORK TO BE PAINTED UNLESS OTHERWISE NOTED.
  2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR:
    - a. INTERIOR REMOVAL OF ALL DRYPHALL, PLASTER, AND WOODWORK.
    - b. ALL PAINT SELECTIONS TO BE COORDINATED WITH OWNER.
    - c. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR:
      - 1. VISUAL INSPECTION AND ACCEPTANCE OF ALL SURFACES TO BE PAINTED PRIOR TO COMMENCING WORK.
      - 2. FILLING AND SANDING HOLES, CRACKS, JOINTS, DENTS, ETC. FILL AND FLUSH AT ALL SURFACES TO BE PAINTED.
      - 3. ONE COAT PRIMER AS REQUIRED BY PAINT MANUFACTURER.
      - 4. ACCURATE SURVEY OF LABELED TOUCH-UP PAINT TO OWNER AT JOB COMPLETION.
      - 5. MINIMUM TWO COATS FINISH PAINT - HIDE TO BE COMPLETED.
      - 6. AN AS-BUILT PAINT CHART SHALL BE FILLED OUT BY PAINTING CONTRACTOR AND DELIVERED WITH FINAL BILLING TO GENERAL CONTRACTOR.
      - 7. PAINT MATERIAL BASED ON HIGHEST GRADE SEQUANUM MOORE BRAND, UNLESS NOTED OTHERWISE.
      - 8. ALL WALLS TO BE TIGHTLY FINISH.
      - 9. CHANGES TO BE PLAT FINISH.
      - 10. NEW WOODWORK TO BE BATH HIGH GRADE ACROGUE FINISH.
      - 11. ALL BATHS AND KITCHEN WALLS AND CEILING TO BE SATIN.
    - 3. INTERIOR AND EXTERIOR SEAMANT TO BE TAMP 25 YEAR OR EQUIVALENT UNMODIFIED LATEX SEALANT IS NOT ACCEPTABLE.
    - 4. DOORS AND WINDOWS TO HAVE THOROUGH LIGHT, HAND-SANDING TO REMOVE BLEMISHES, HANDING MARKS, GROSS SANDING, AND NATURAL RESIN SPOTS THAT MAY BE PRESENT ON SURFACES. ALL WOOD SURFACES OF DOORS AND WINDOWS, INCLUDING TOP AND BOTTOM EDGE OF DOORS, SHOULD BE COMPLETELY SEALD WITH AT LEAST TWO TOP COATS OF FINISH.
    - 5. AREAS BEHIND MIRRORS:
      - a. NEW WALLS RECEIVING MIRRORS SHALL BE PRIMED ACROGUE PRIMER ONLY. NO FINISH PAINT SHALL BE APPLIED.
      - b. EXISTING WALLS PREVIOUSLY PAINTED SHALL HAVE AREAS SANGED AND PRIMED WITH ACROGUE PRIMER ONLY. NO FINISH PAINT SHALL BE APPLIED.
    - 6. NEW WALLS RECEIVING WALLPAPER SHALL BE PRIMED WITH LATE PRIMER FOLLOWED BY AN APPLICATION OF ACROGUE SING.
    - 7. EXISTING WALLS TO HAVE AN APPLICATION OF ACROGUE SING.
    - 8. INTERIOR WOOD:
      - a. USE AN OIL-BASED FINISH ON EXISTING TRIM WITH OIL BASED PAINT.
      - b. USE OIL LATEX OR LACQUER PRIMERS WITH HIGH GRADE LATEX ACROGUE FINISH ON NEW WOOD.
      - c. NEW STAINED TRIM: USE FORTIFIED CLEAR LACQUER FINISH.
    - 9. PAINTED: FIRST SEAL WITH OIL BASE PRIMER, SECOND AND THIRD COATS TO BE ACROGUE LATEX PAINT.
    - 10. STAINER: REMOVE ONE COAT OF EXISTING SEMI-TRANSPARENT STAIN BLENDED OR, TWO COATS OF SOLID BODY EXTERIOR STAIN BLENDED.
    - 11. EXTERIOR STUCCO:
      - a. STUCCO UNDERLAMENT SHALL BE 1/2" CGF FLYWOOD SHEATHING WITH 1/2" GAPS. HANG HORIZONTAL WITH STAGGERED VERTICAL JOISTS. BLOCK AT ALL HORIZONTAL JOINTS.
      - b. PROVIDE 1/4" LAYER FIBER POLYESTER OVER SHEATHING.
      - c. PROVIDE 1/4" LAYER FIBER SUPER JAMBO TIE 60 MILITARY ASPHALT SATURATED KRAFT PAPER OVER POLYESTER.
      - d. NEW: SOLID COLOR INTEGRAL WITH STUCCO OR ALL ACROGUE LATEX FINISH TO MATCH EXISTING AS CLOSE AS POSSIBLE.
      - e. EXISTING: POWDER WASH PRIMER ON ALL ACROGUE LATEX FINISH.
    - 12. INSTALL 1/2" DROCK OVER 1/2" UNDERLAMENT OVER 2x4 SUPERIOR IN ALL AREAS THAT ARE OVERHAULED TO RECEIVE STONE OR CERAMIC TILE. VERIFY WITH GENERAL CONTRACTOR.
  3. NEW OR REFINISHED HARDWOOD FLOORS TO BE FINISHED WITH THREE APPLICATIONS OF POLYURETHANE.
  4. A SOLLUTER STRIP IS REQUIRED AT ALL TIDGECAPET FLOORING TRANSITIONS. FIELD VERIFY COLOR WITH ARCHITECT.
  5. SPT TYPE Y OPTIMUM WALL BOARD TO BE USED ON WALLS AND CEILING AT ATTACHED GARAGES.
  6. PROVIDE A LEVEL 3 DRYSPIN BOARD FINISH IN ALL AREAS TO RECEIVE HEAT OR MEDIA TUBES FINISHES BEFORE FINAL PAINTING AND WHERE HEAVY GRADE WALL COVERINGS ARE TO BE APPLIED.
- 10.000 SPECIFICATIONS**
- 1.00.000 EQUIPMENT/MATERIAL CONSTRUCTION
- 1.50.000 PLUMBING
- A. PLUMBING CONTRACTOR TO PURCHASE ALL PLUMBING PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND SCHEDULE REQUIRED INSPECTIONS.
- B. ALL FINURES TO BE EQUIPPED WITH VALVES IN ACCESSIBLE LOCATIONS. LAYOUT IS PLUMBING CONTRACTORS RESPONSIBILITY. COORDINATE WITH OTHER TRADES.
- C. PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL FINURES, FAUCETS, AND ACCESSORIES AS NOTED ON THE DRAWINGS. PLUMBING CONTRACTOR TO INSTALL ALL FINURES NOTED AS FURNISHED BY OWNER.
- D. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.
- E. ALL GAS PIPING AND HOOKUPS REQUIRED FOR GAS COOKTOPS, GAS DRYERS, GAS HEATERS, GAS WATER HEATERS, OR OTHER GAS APPLIANCES ARE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- F. PLUMBING CONTRACTOR TO PROVIDE STANDARD WATER AND DRAIN BOX AT WASHER LOCATION.
- G. PLUMBING CONTRACTOR IS RESPONSIBLE FOR DRAIN LINE FOR HVAC CONDENSATE LINE TO THE INTD HVAC EQUIPMENT UNLESS OTHERWISE NOTED BY OWNER.
- H. PLUMBING CONTRACTOR SHALL GUARANTEE HIS WORK AND ALL EQUIPMENT FURNISHED TO BE FREE OF DEFECTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- I. ALL THE SHOWER PANS TO HAVE 20IN 21-41 S SHOWER DRAIN WITH THE 3" HOLE, BEING SQUARE STRAINER.
- J. PLUMBER IS RESPONSIBLE FOR WATER LINES RELATED TO HANDIERS, IF SPECIFIED, AT FINURES.
- 15.000 HEATING AND COOLING**
- A. HVAC CONTRACTOR TO PURCHASE ALL HVAC PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND SCHEDULE REQUIRED INSPECTIONS.
- B. HVAC CONTRACTOR TO DESIGN HEATING AND/OR COOLING SYSTEM AND LAYOUT. REVIEW SYSTEMS AND EQUIPMENT LOCATIONS WITH GENERAL CONTRACTOR, OWNER AND ARCHITECT FOR APPROVAL PRIOR TO STARTING WORK. COORDINATE WITH OTHER TRADES.
- C. HVAC CONTRACTOR TO PROVIDE MISCELLANEOUS DUCTWORK THAT IS REQUIRED TO INSTALL EXHAUST PANS, VENTS, LAUNDRY CHUTES, ETC.
- D. HVAC CONTRACTOR TO FURNISH AND INSTALL ALL COMPONENTS REQUIRED FOR COMPLETE INSTALLATION OF THIS WORK.
- E. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.
- F. HVAC FIELD DUCT INSTALLATION
1. MAX RUN IS 5' UP TO 12'-0". ONLY WITH APPROVAL FROM ARCHITECT.
  2. RUN MUST BE AS STRAIGHT AS POSSIBLE.
  3. ALL 90 DEGREE ANGLES, TURN LINES, AND SUPPLY GRILL CONNECTIONS MUST BE OUT OF THE PLANE.
  4. FLEX DUCT TO BE PROPERLY SUPPORTED EVERY 4'-0" O.C. WITH A 2" WIDE STRAP MINIMUM.

**APPROVALS**

APPROVALS OF DEMOLITION, ARCHITECTURAL DESIGN, LANDSCAPE DESIGN, AND TREE PROTECTION WERE FINALIZED AT BEHAL ARCHITECTURAL REVIEW BOARD AND TREE COMMISSION MEETING ON FEBRUARY 21, 2018



**CRITICAL NOTE: ALL TREES SHOWN ON THIS SITE PLAN ARE EXISTING TREES TO BE PROTECTED.**

**CRITICAL NOTE: COORDINATE NEW WORK WITH LANDSCAPE PLAN SUPPLIED BY LANDSCAPE ARCHITECT**

DRAWING INDEX	
SHEET NO	SHEET NAME
E.1	COVER SHEET AND SITE PLAN
A1.0	FOUNDATION/BASEMENT PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN / ROOF PLAN
A2.1	SCHEDULES AND TRIM DETAILS
A3.1	EXTERIOR ELEVATIONS
A3.2	INTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A5.1	WALL SECTIONS/DETAILS
A5.2	WALL SECTIONS/DETAILS
B.0	FIRST FLOOR FRAMING PLAN
B.1	SECOND FLOOR FRAMING PLAN
B.2	ROOF FRAMING PLAN
B.3	BASEMENT ELECTRICAL PLAN
E.1	FIRST FLOOR ELECTRICAL PLAN
E.2	SECOND FLOOR ELECTRICAL PLAN
M.0	BASEMENT MECHANICAL PLAN
M.1	FIRST FLOOR MECHANICAL PLAN
M.2	SECOND FLOOR MECHANICAL PLAN

ROOF VENTILATION CALCULATIONS	
ATTIC SPACE ABOVE MASTER CLOSET #1 / SCREENED PORCH / DEN (HFT)	
TOTAL REQUIRED VENT AREA: (882.50 FT. / 150)	6.6 50 FT.
COR-A-VENT FS-400 SOFFIT VENT (10.0 L.F. x 0.0284 SQ.FT. NFVA / L.F.)	6.9 50 FT.
COR-A-VENT 4600R ROOF VENT (16.0 L.F. x 0.139 SQ.FT. NFVA / L.F.)	2.8 50 FT.
TOTAL VENTILATION PROVIDED:	9.7 50 FT.

ATTIC SPACE ABOVE MASTER BATH / MASTER BATH / MASTER HALL / MASTER CLOSET #2 / MASTER POWDR / GUEST HALL / ENTRY / EXERCISE ROOM / BATH	
TOTAL REQUIRED VENT AREA: (2628.90 FT. / 150)	17.4 50 FT.
COR-A-VENT FS-400 SOFFIT VENT (26.4 L.F. x 0.0284 SQ.FT. NFVA / L.F.)	11.7 50 FT.
COR-A-VENT 4600R ROOF VENT (45.6 L.F. x 0.139 SQ.FT. NFVA / L.F.)	6.3 50 FT.
TOTAL VENTILATION PROVIDED:	18.0 50 FT.

ATTIC SPACE ABOVE LINES / PANTRY	
TOTAL REQUIRED VENT AREA: (1206.50 FT. / 150)	1.4 50 FT.
COR-A-VENT FS-400 SOFFIT VENT (12.0 L.F. x 0.0284 SQ.FT. NFVA / L.F.)	1.6 50 FT.
COR-A-VENT 4600R ROOF VENT (16.0 L.F. x 0.139 SQ.FT. NFVA / L.F.)	2.2 50 FT.
TOTAL VENTILATION PROVIDED:	4.0 50 FT.

ATTIC SPACE ABOVE BREAKFAST	
TOTAL REQUIRED VENT AREA: (34.50 FT. / 150)	3.50 FT.
COR-A-VENT 5400 SOFFIT VENT (17.5 L.F. x 0.0284 SQ.FT. NFVA / L.F.)	1.2 50 FT.
TOTAL VENTILATION PROVIDED:	1.2 50 FT.

ATTIC SPACE ABOVE GUEST BR POWDR / LAUNDRY / ELEVATOR / BEDROOM 2 / BEDROOM 3 / BR 2 BATH / BR 2 CLOSET / BR 3 BATH / BR 3 CLOSET	
TOTAL REQUIRED VENT AREA: (1947.50 FT. / 150)	13.0 50 FT.
COR-A-VENT 5400 SOFFIT VENT (14.6 L.F. x 0.0284 SQ.FT. NFVA / L.F.)	1.0 50 FT.
CEILING MARATHON PRE-VENT	4.3 50 FT.
TOTAL VENTILATION PROVIDED:	14.4 50 FT.

THERMAL ENVELOPE	REQUIRED	PROPOSED
INTEGRATION WINDOWS & DOORS	U-0.35	SEE SCHEDULE
INTEGRATION GLAZING SYSTEMS	U-0.30	SEE SCHEDULE
GLAZED INTEGRATION SHGC	NR	NR
CEILING	R-30*	R-38
WOOD FRAME WALL	R-30	R-21
MASONRY WALL	R-5/17	NA
FLOOR	R-30**	R-30
BASEMENT WALL	R-10/13	R-10/13
SLAB FINDER/IF 4" (2" BELOW GRADE)	R-10.2 FT	NA
GRAVEL SPACE WALL	R-10.2	NA

ALTERNATES	
ALT. 1	48" X 60" CUSTOM ELEVATOR CAB

PROJECT TEAM	
<b>OWNER:</b> HERBERT AND DEE DEE GLIMCHER 10 N DREDE AVE BEAULY, OHIO 43209 PHONE: 614-563-8167	<b>LANDSCAPE ARCHITECT:</b> RSJM COLLABORATIVE 22 E. 6th STREET 4000 COLUMBUS, OHIO 43215 PHONE: 614-486-9000 FAX: 614-486-9149 ATtn: GERALD SCHULTZ

**GENERAL NOTES:**

1. ALL LOCATIONS WHERE THE SPACES ARE CREATED BY THE USE OF CEILING JOISTS AND ROOF RAFTERS, THE INSULATION SHALL BE PROVIDED IN THE PLANE OF THE CEILING JOISTS NOT IN THE PLANE OF THE ROOF RAFTERS.
2. PROVIDE LIGHT-GAUGE METAL STRAPPING OR METAL WIRE INSULATION SUPPORTS IN WALLS WHERE INSULATION IS NOT CONTAINED ON BOTH SIDES OF WALLS. INSTALL PER MANUFACTURERS SPECIFICATIONS.

DESIGN LOADS	
1. GOVERNING CODE: OHIO RESIDENTIAL CODE 2013	
2. ASSUMED SOIL BEARING CAPACITY: 1500 PSF	
3. DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECT OF DRIFTING SNOW PER OHIO BUILDING CODE	

A. GROUND SNOW LOAD (Pg) = 20 PSF	
B. FLAT ROOF SNOW LOAD (Pm) = 20 PSF	
C. SNOW EXPOSURE FACTOR (Ce) = 1.0	
D. SNOW LOAD IMPORTANCE FACTOR (I) = 1.0	
E. ROOF LIVE LOAD = 20 PSF	

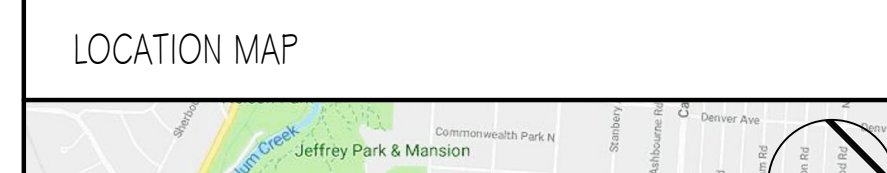
DESIGN FLOOR LIVE LOADS	
A. RESIDENTIAL - 40 PSF	

5. WIND DESIGN PARAMETERS	
A. WIND SPEED (V) = 90 MPH	
B. WIND LOAD IMPORTANCE FACTOR = 1.0	
C. WIND EXPOSURE = EXPOSURE B	
D. MAIN WIND DESIGN PRESSURE = +2.8 PSF	

GROSS SQUARE FOOTAGE CALCULATIONS	
LOWER LEVEL (FINISHED)	1,562 SQ. FT.
LOWER LEVEL (UNFINISHED)	1,092 SQ. FT.
LOWER LEVEL (TOTAL INCLUDING UNFINISHED SPACE)	2,654 SQ. FT.

FIRST FLOOR MAIN HOUSE FINISHED	3,390 SQ. FT.
FIRST FLOOR GARAGE	1,135 SQ. FT.
FIRST FLOOR SCREENED PORCH	464 SQ. FT.
FIRST FLOOR FRONT & SIDE COVERED PORCHES	1,156 SQ. FT.
FIRST FLOOR TOTAL FINISHED	3,390 SQ. FT.
FIRST FLOOR TOTAL INCLUDING MAIN HOUSE, GARAGE, AND COVERED PORCHES	5,117 SQ. FT.

SECOND FLOOR (TOTAL FINISHED)	3,665 SQ. FT.
TOTAL FINISHED AREA	6,637 SQ. FT.



**BEHAL | SAMPSON | DIETZ**  
ARCHITECTURE & CONSTRUCTION

900 WEST THIRD AVENUE  
COLUMBUS, OHIO 43215  
TELEPHONE 614-464-1933  
FAX 614-464-1934  
WWW.BSDARCHITECTS.COM

**REGISTERED ARCHITECT**  
GERALD WILLIAM SCHULTZ  
9202

GERALD WILLIAM SCHULTZ  
LICENSE # 9802  
EXPIRATION DATE: DEC. 31, 2019

DESCRIPTION	DATE
PERMIT SET	3.7.18

**GLIMCHER RESIDENCE**

291 SOUTH COLUMBIA AVENUE  
BEAULY, OHIO 43209

DRAWN BY	REVIEWED BY	JOB NUMBER
JMS / TP	GS / JB	17119

COVER SHEET AND SITE PLAN **G.1**

3/7/2018 2:34:19 PM