



HIS & HERS ARCHITECTS
7422 SILVERLEAF CT
COLUMBUS, OHIO 43232



HAAS ADDITION
821 GRANDON AVE
BEXLEY OH
2025.05.13

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28'-7 1/2"

EXISTING UNENCLOSED,
COVERED PATIO TO BE REMOVED

66'-1 1/4" EXISTING

127'-0"

EXISTING GARAGE
AND DRIVEWAY,
TO BE REMOVED

PROPOSED 400 SF
2 CAR GARAGE

37'-10 1/8"

44'-3 3/8"

19'-11"

13'-5 3/4"

473 SF ADDITION

PROPOSED
122 SF
DECK

PROPOSED
50 SF WALK

EXISTING 615 SF 2 STORY,
SINGLE FAMILY HOUSE,

30'-0"
FRONT YARD SETBACK

EXISTING 169 SF
UNENCLOSED PORCH

20'-0"
PORCH
SETBACK

EXISTING 215 SF SIDEWALK

25'-0"
REAR YARD SETBACK

PROPOSED
105 SF WALK

PROPERTY LINE

6'-8"
SIDE YARD
SETBACK

32'-9" EXISTING

GRANDON AVE

BUILDING ZONING INFORMATION

PROPERTY ADDRESS: 821 GRANDON AVE
PARCEL ID: 020-002982-00
ZONING: R-6

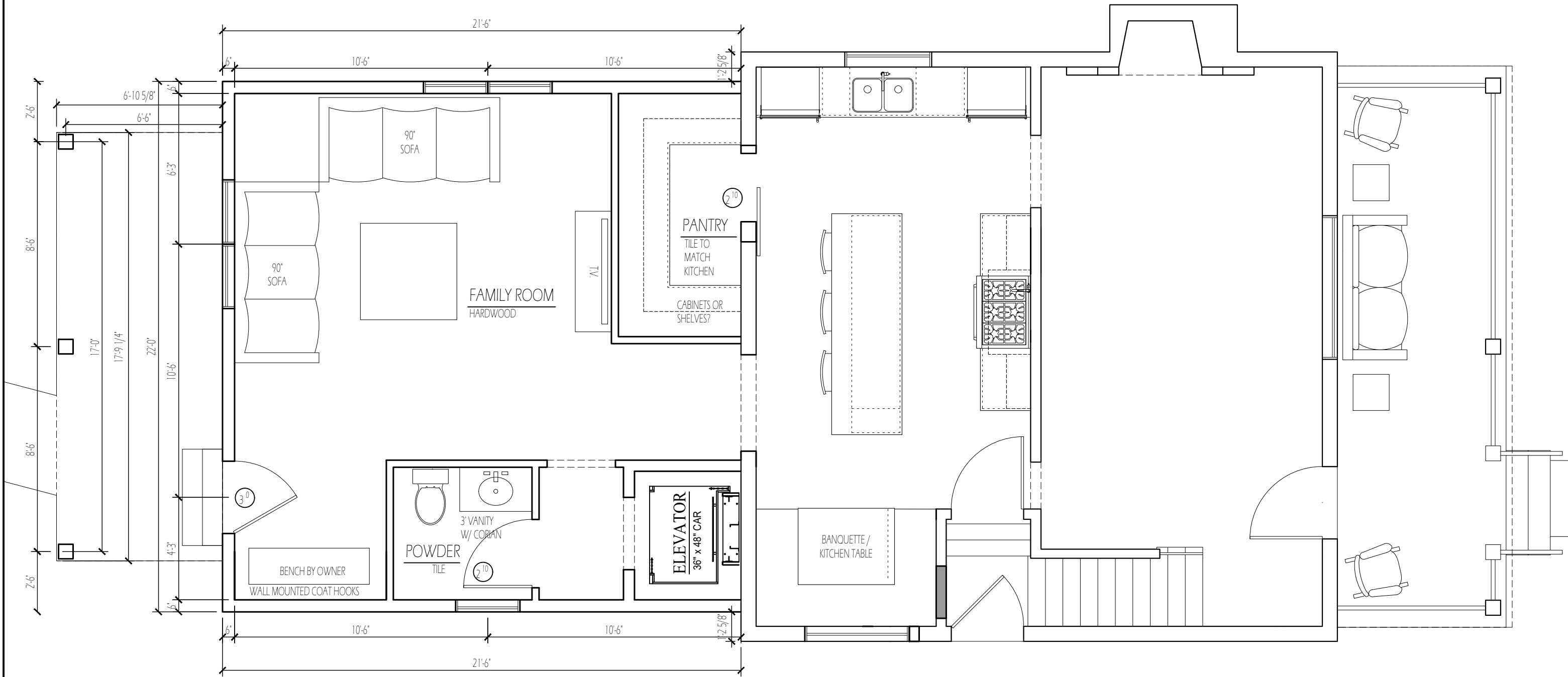
HEIGHT DISTRICT: 2-1/2 STORIES AND 35'
EXISTING HEIGHT: 28' ROOF PEAK - 31' W/ CHIMNEY
PROPOSED BUILDING HEIGHT: 31' ROOF PEAK - 33' W/ CHIMNEY

LOT AREA: 5,092 SF
FRONT YARD SETBACK: 30' (AVERAGE FRONT YARD SETBACK = 29'-6")
SIDE YARD SETBACK: 6'-8" (1/6 OF 40')
REAR YARD SETBACK: 25'
MAX BUILDING COVER: 1,782 SF (35%)
MAX LOT COVERAGE: 3,055 SF (60%)

PROPOSED BUILDING COVERAGE: 1,780 (35%)
PROPOSED LOT COVERAGE: 2,255 (44.3%)

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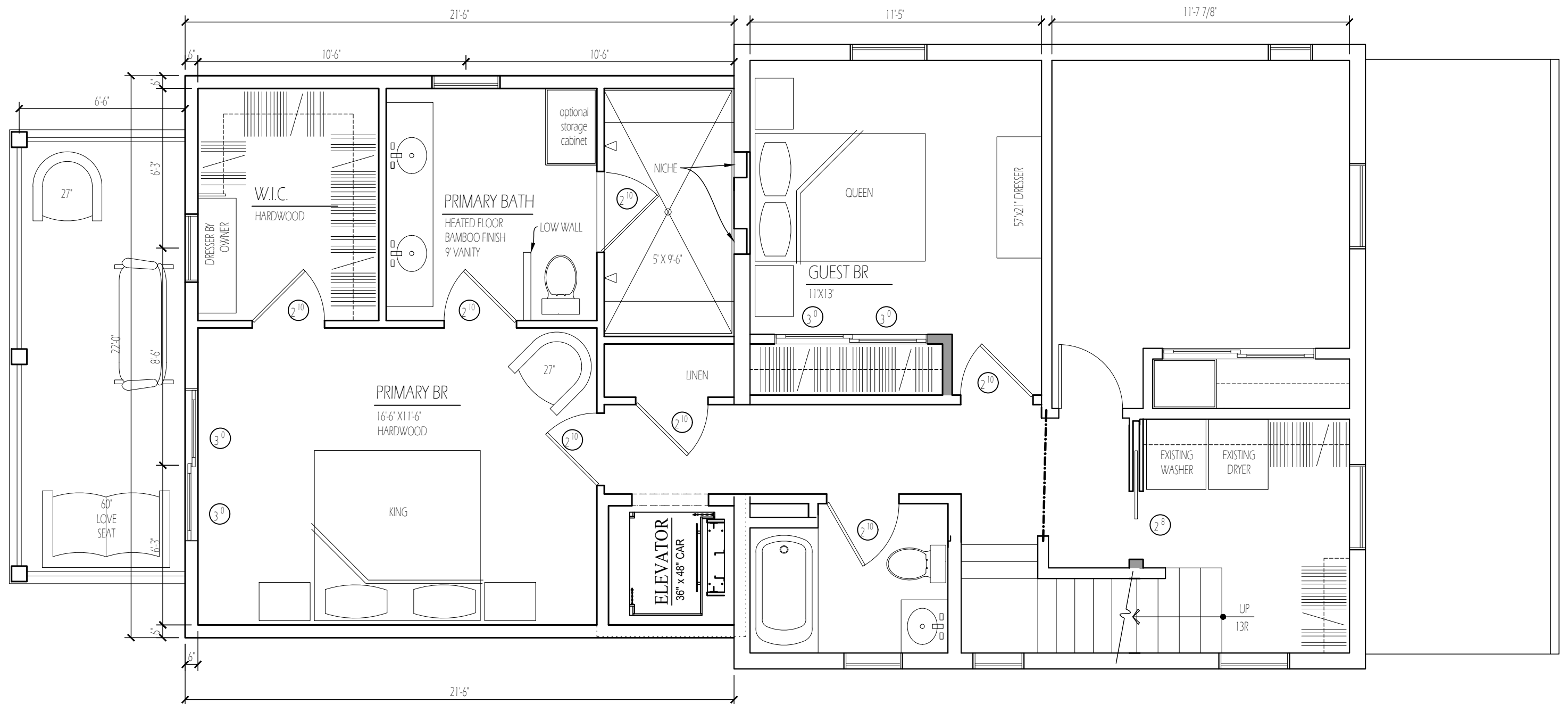
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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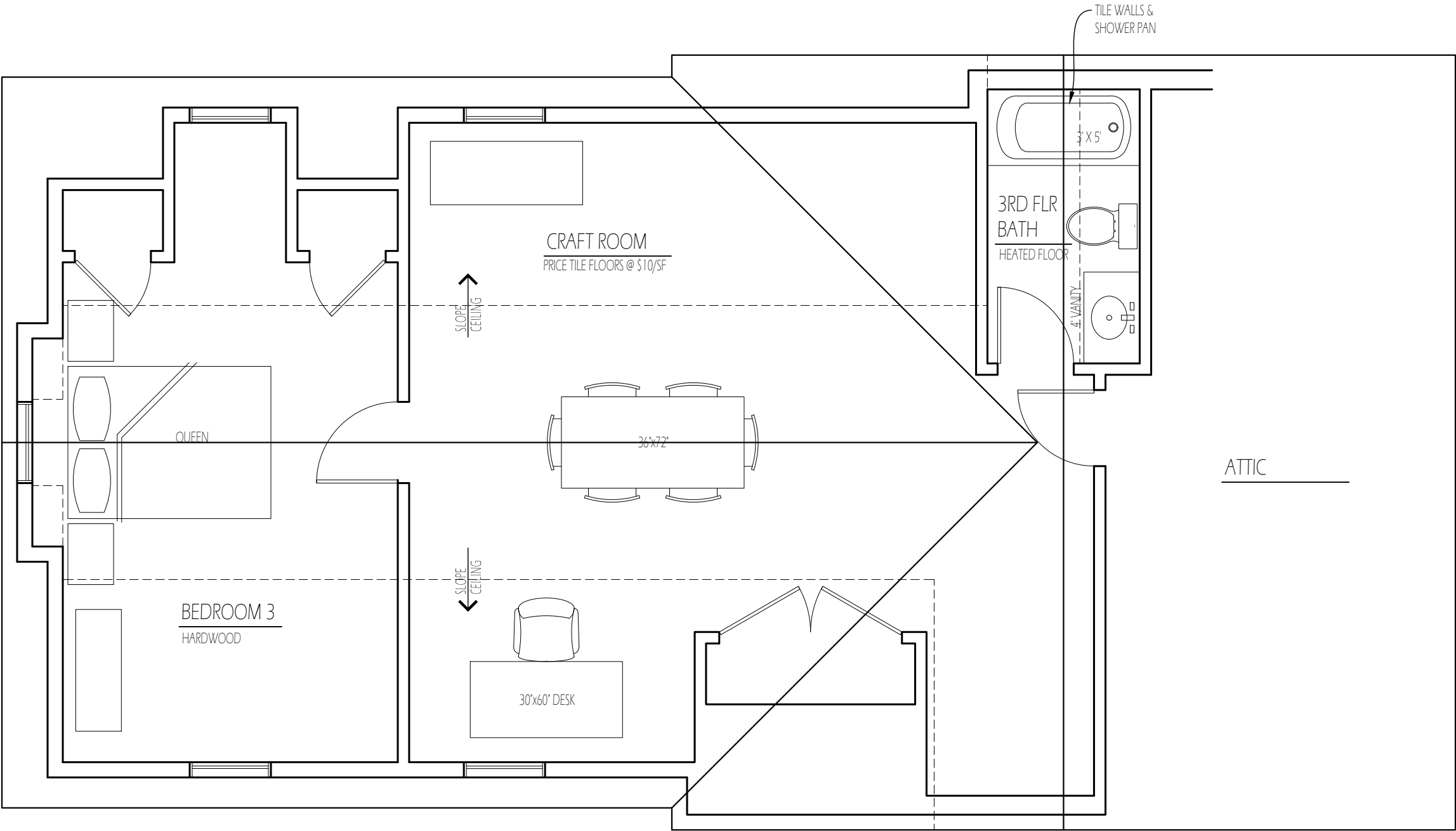


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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THIRD FLOOR

SCALE: 1/4" = 1'-0"

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VIEW OF EXISTING HOUSE NORTH WEST CORNER
NTS



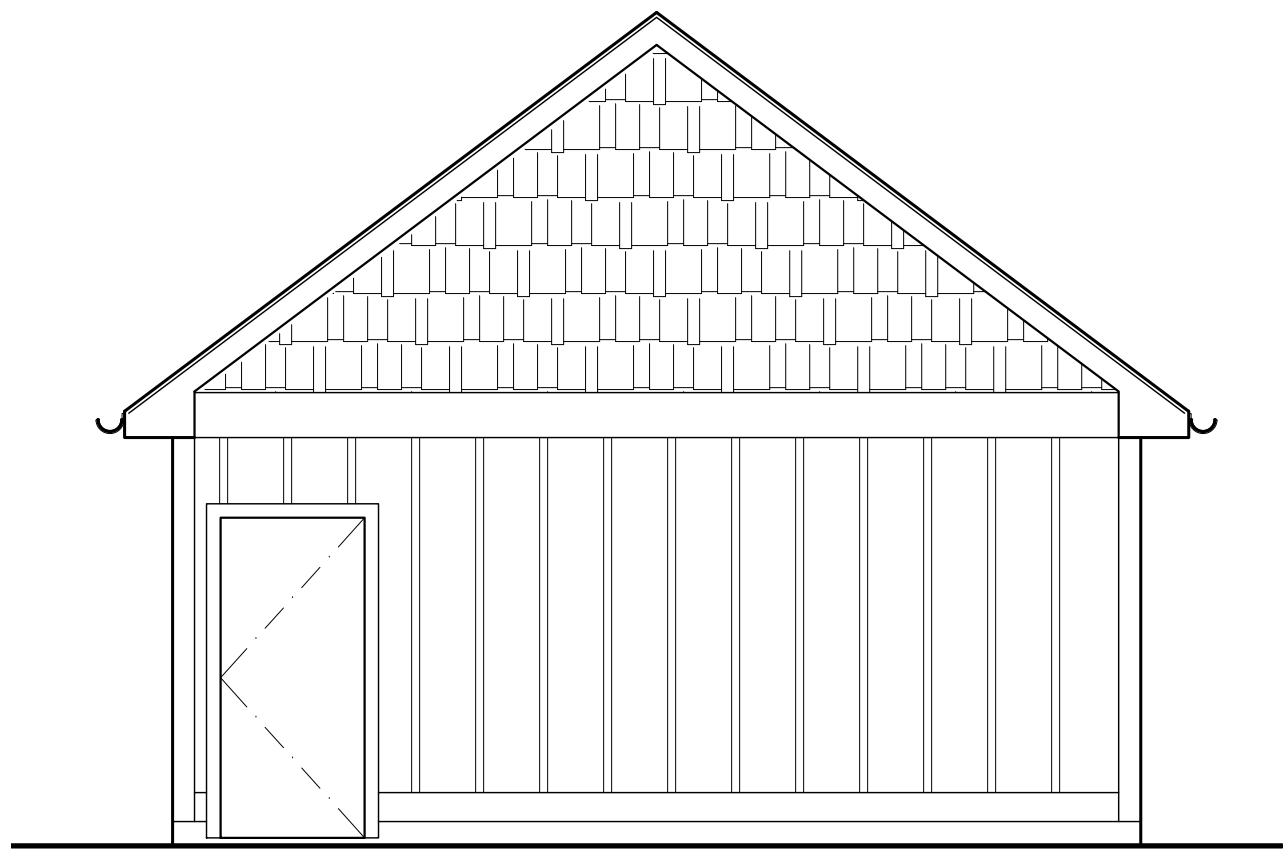
VIEW OF EXISTING HOUSE REAR WEST FACADE
NTS



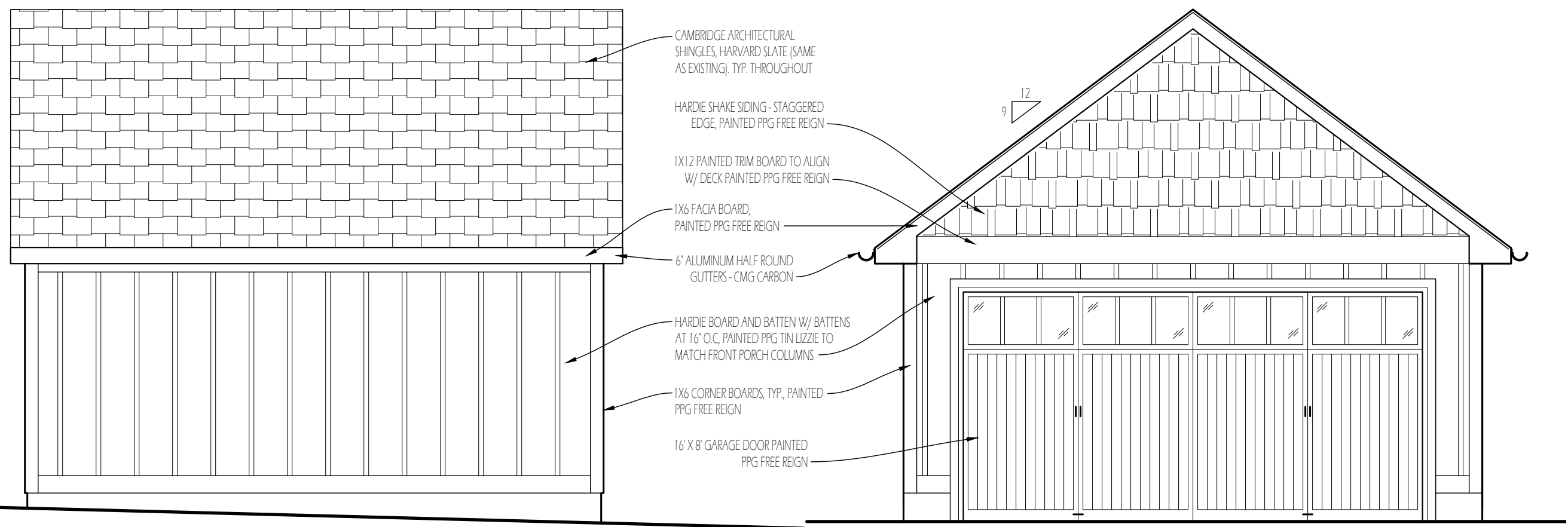
VIEW OF EXISTING HOUSE SOUTH EAST CORNER
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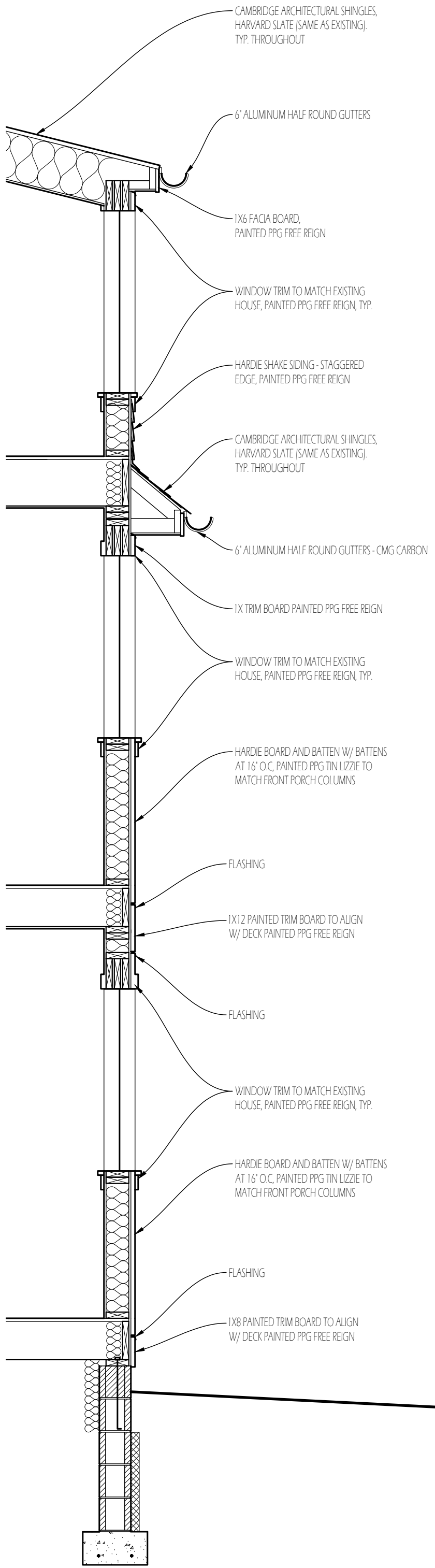
VIEW OF EXISTING HOUSE NORTH EAST CORNER
NTS



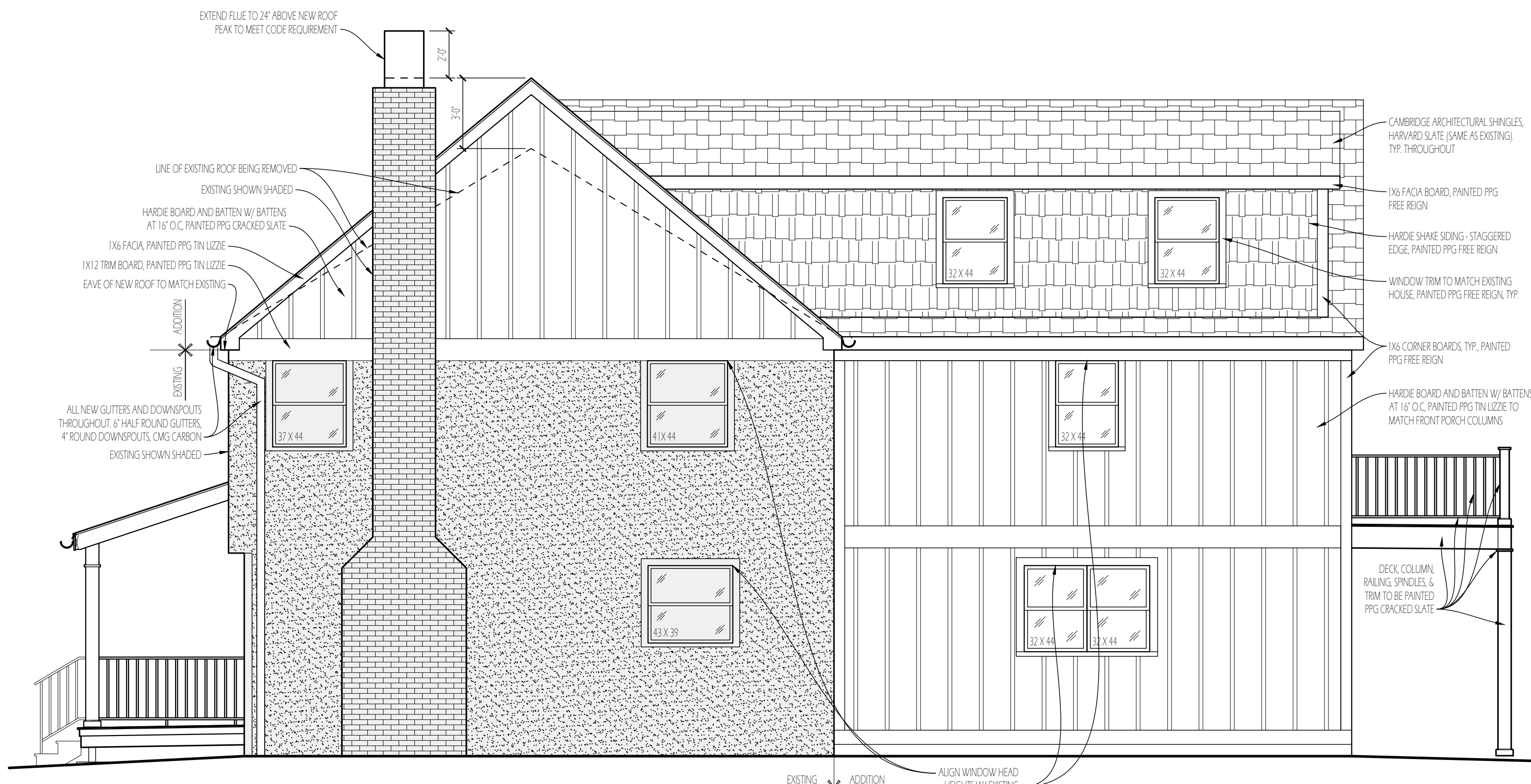
EAST EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4" = 1'-0"



REAR EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4" = 1'-0"



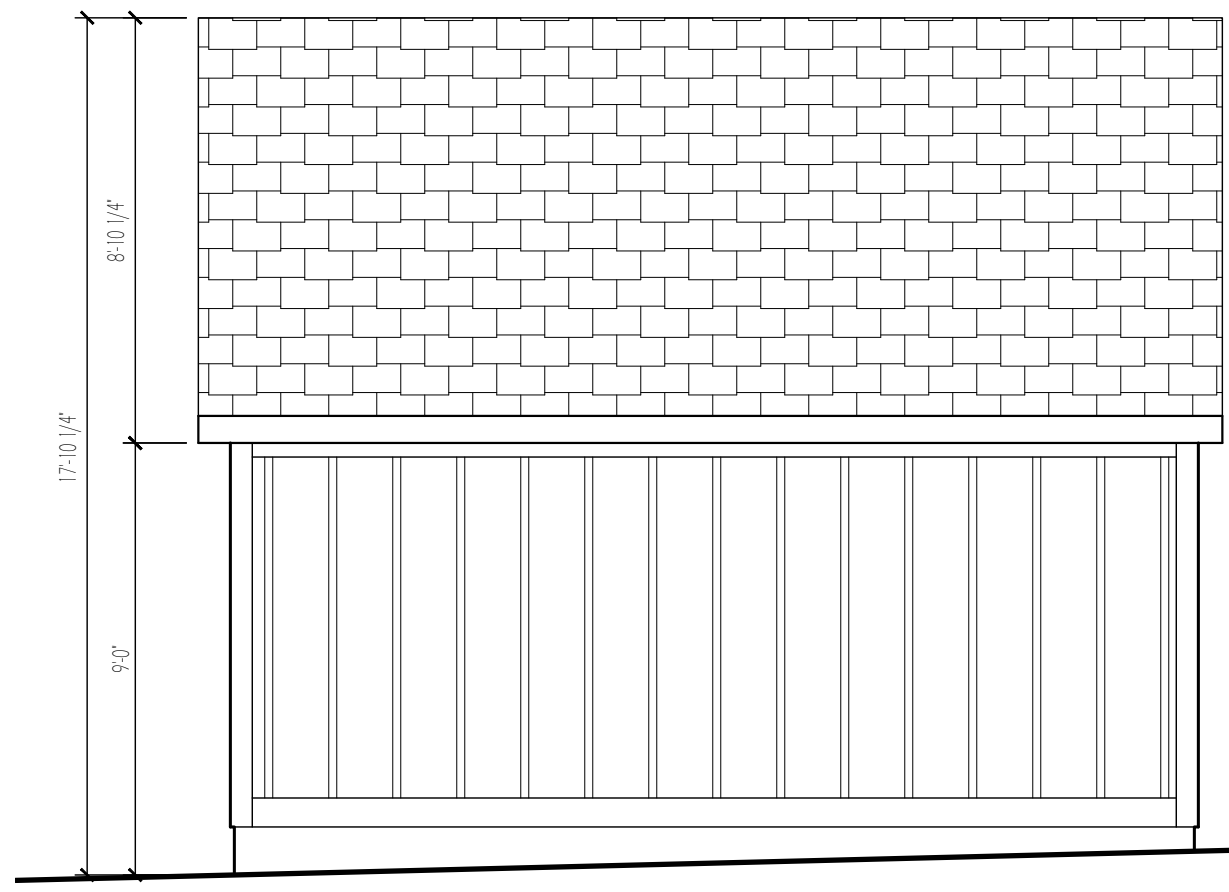
TYPICAL WALL SECTION THROUGH ADDITION
SCALE: 1/2" = 1'-0"



SIDE/NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REAR EXTERIOR ELEVATION OF ADDITION
SCALE: 1/4" = 1'-0"



SIDE/SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



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